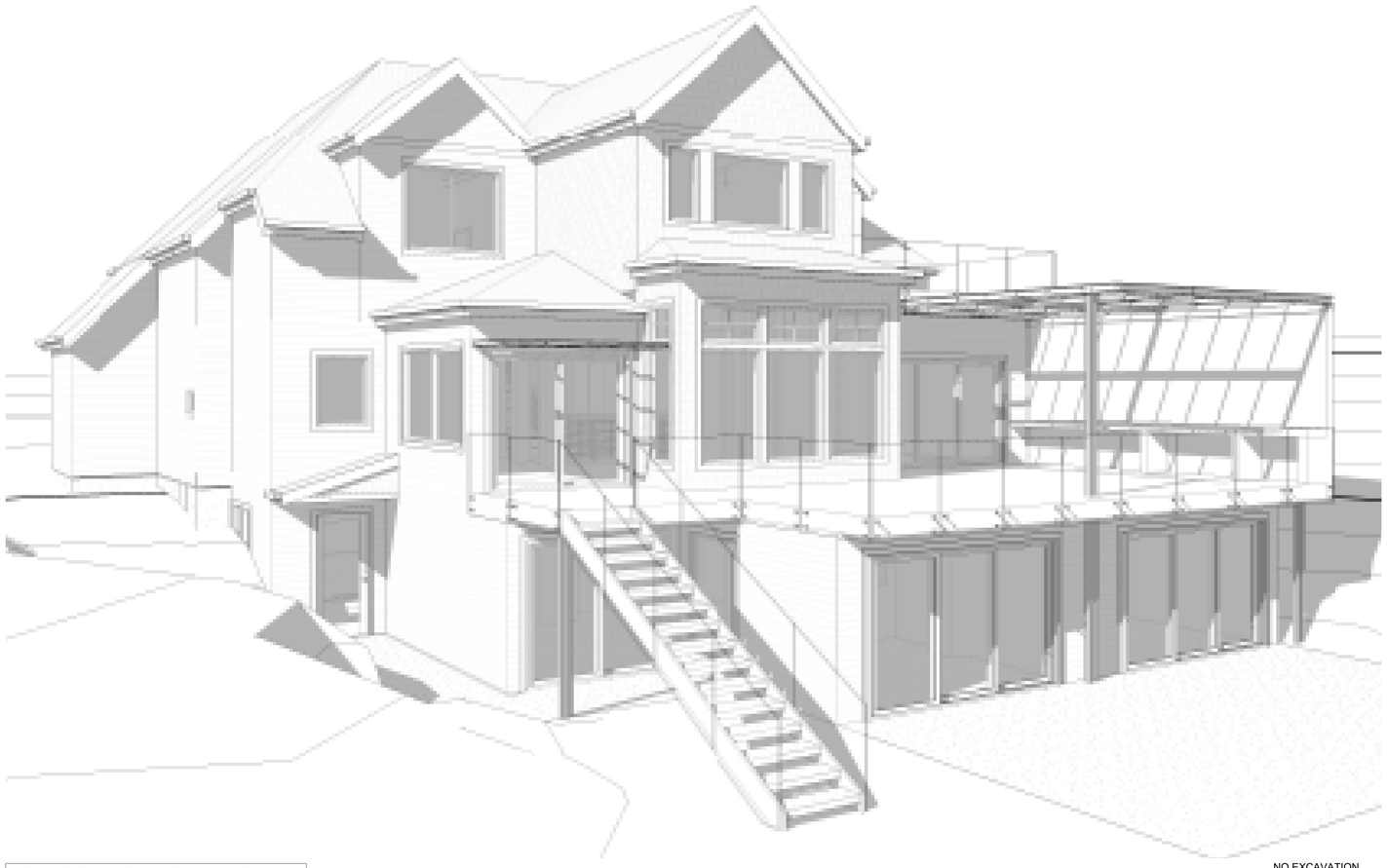
9820 SE 35TH PLACE MERCER ISLAND, WA. 98040



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

ZONING & CODE INFORMATION

JURISDICTION: CITY OF MERCER ISLAND
ZONING: R9.6
PARCEL ASSESSOR'S #: 082405-9027

LEGAL DESCRIPTION:

LOT 1 TGW SH LDS ADJ MERCER ISLAND SHORT PLAT NO 82-11-26 REC NO 8303109004 - LESS POR THOF LY NLY AND WLY OF FOLG DESC LN -- COMM AT NW COR OF SD LOT 1 TH S 88-49-28 E ALG NOTRH LAN THOF A DIST OF 82.40 FT TO TPOB OF HEREIN DESC LN TH S 01-10-32 W 4.54 FT TH S 64-49-53 W 9.36 FT TH N 88-49-28 W 21.64 FT TH S 64-21-02 W 8.31 FT TH S 51-11-48 W 14.70 FT TH N 88-49-28 W 33.69 FT TO WEST LN OF SD LOT 1 AND THE TERMINUS OF HEREIN DESC LN AKA "LOT 1" OF MERCER ISLAND LOT LINE ADJUSTMENT NO SUB01-009 REC NO 20021125900027 LY IN STR 08-24-05

OCCUPANCY: SINGLE FAMILY

SETBACKS AT REMODEL / ADDITION:
REMODEL CHANGES ARE LESS THAN 40% OF THE EXTERIOR (SEE CALCULATION SHT)
REFER TO PREVIOUS PERMIT #9908-047
APPROVED SITE PLAN 9-10-99
PER PRE-APPLICATION PREMIT #PRE20-038
EXISTING SETBACKS ARE VESTED

NEW CONSTRUCTION: 2 CAR DETACHED GARAGE-
FRONT YARD: 20'-0"
SIDE YARD: 10'-0"

PARKING REQUIRED: 2.0 PER DWELLING UNIT
PARKING PROVIDED: 2.0 IN ATTACHED GARAGE
2.0 IN NEW DETACHED GARAGE

PROJECT DESCRIPTION: ADDITION AND REMODEL TO SINGLE FAMILY RESIDENCE + DETACHED 2 CAR GARAGE

PROJECT CONTACT INFOMATION

OWNER: MARY & ACHIH CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA. 98040
P: 706-726-3333
E: maryrwchen@yahoo.com

CONTRACTOR: T.B.D.

ARCHITECT: MEDICI ARCHITECTS
EMILY BUCHWALTER, AIA
11711 SE 8TH ST., SUITE 100
BELLEVUE, WA 98005
P: 425-453-9298
E: priscilla@mediciarchitects.com

STRUCTURAL ENGINEER: FOSSATTI PAWLAK STRUCTURAL ENGINEERS
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CIVIL ENGINEER: CIVIL ENGINEERING SOLUTIONS
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ARBORIST: OLYMPIC NURSERY, INC.
TOM QUIGLEY
ISA CERTIFIED ARBORIST PN0655A
P: 206-850-2643
E: tlquigley@msn.com

SURVEYOR: INFORMED LAND SURVEY
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NO EXCAVATION BEYOND FOUNDATIONS

CALL 48 HOURS BEFORE YOU DIG 811 OR 1-800-424-5555

R9.6 BUILDING ZONE REQUREMENTS

LOT COVEREAGE: ALLOWED - 40%	SEE SHEET A0.1
HARDSCAPE COVEREAGE: ALLOWED 9% + BORROWED AREA	SEE SHEET A0.1
GROSS FLOOR AREA: ALLOWED 8,000 SQ. FT.	SEE SHEET A0.1
A.B.E. AND MAX HEIGHT: NEW ADDITION AREA	SEE SHEET A0.2
A.B.E. AND MAX HEIGHT: NEW DETACHED GARAGE	SEE SHEET A0.2
ALLOWED STRUCTURAL DISTURBANCE: 40%	SEE SHEET A0.2

CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF MERCER ISLAND
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL FUEL GAS COZDE (IFGC)
2015 INTERNATIONAL FIRE CODE (IFC)
WASHINGTON STATE ENERGY CODE, WAC 51-11 (WSEC)
2015 UNIFORM PLUMBING CODE (UPC)
2014 NATIONAL ELECTRIC CODE (NEC)
2015 NATIONAL FUEL GAS CODE (NFGC) NFPA 54, WAC

BUILDING CLASSIFICATION

A. OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE
B. TYPE OF CONSTRUCTION:
1. AUTOMATIC SPRINKLERS PROVIDED ___YES _X_NO
SPRINKLER SYSTEM TO BE A FLOW THRU SYSTEM

THIS HOUSE HAS A FIRE ALARM SYSTEM INSTALLED.

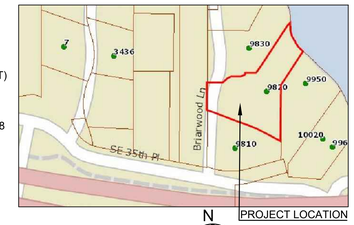
ENERGY CODE COMPLIANCE

GENERAL PRESCRIPTIVE METHOD:
SEE SHEETS A0.2, A0.3 & A5.0

ENERGY CREDITS PER TABLE 406.2.1:
ADDITION TO EXISTING BUILDING GREATER THAN 500sf<1500sf

OPTION 5c EFFICIENT WATER HEATING - GAS WATER HEATER, MIN. EF 0.91	1.5 CREDITS
TOTAL CREDITS REQUIRED SMALL DU:	1.5 CREDITS
TOTAL CREDITS PROPOSED:	1.5 CREDITS

VICINITY MAP
NTS
N
PROJECT LOCATION



QT. SECT. MAP
NTS
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DRAWING SHEET INDEX

STRUCTURAL SHEET INDEX

CIVIL SHEET INDEX

SURVEY:

TOPOGRAPHIC SURVEY INCLUDED

DEFERRED SUBMITTAL:

THE FOLLOWING ITEMS ARE CONSIDERED TO BE A DEFERRED SUBMITTAL UNDER SECTION 107.3.4.1 OF THE IBC AND MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
*PRE-ENGINEERED INTERIOR STEEL STAIRS, HANDRAILS, BALCONY GUARDS, EXTERIOR STEEL STAIRS, STEEL FRAME CANOPY. ELECTRICAL, MECHANICAL AND PLUMBING.

MEDICI ARCHITECTS
ARCHITECTURE I PROGRAMMING I ACCESSIBLE DESIGN I INTERIOR DESIGN
www.mediciarchitects.com

11711 SE 8TH STREET, SUITE 100
BELLEVUE, WA 98005
TEL: (425) 453-9298

REGISTRATION:

6926 REGISTERED ARCHITECT EMILY D. BUCHWALTER STATE OF WASHINGTON

INTAKE: DATE:

REVISIONS: DATE:
1.
2.
3.
4.
5.

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

TITLE SHEET

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A0.0

9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040

TREE PROTECTION GUIDELINES

All remaining trees are to have a tree protection zone (TPZ) established before commencement of any construction or delivery activities. The following guidelines are to be observed and practiced during all construction activities.

- Access is to be restricted into TPZ's with readily visible temporary tree fencing along the LOD which completely surrounds the protected areas of retained trees. Fences shall be constructed of chain link and be at least 4 ft tall, constructed using pier block, and major roots should be avoided while staking.
- Highly visible signs spaced no further than 15 feet shall be placed along sides of the TPZ fencing.
- Construction materials or supplies, soil, debris, vehicles, and equipment are not to be parked or stored within TPZ.
- TPZ fences must be inspected prior to the beginning of any construction activities.
- Assess crew and contractor penalties, if necessary, to keep the TPZ's intact.
- Check the integrity of TPZ fences weekly, and repair or replace as needed.
- Wood chips should be used if possible to spread above root zones within the TPZ's to a depth of 6-8 inches for temporary protection.
- Cement trucks must not deposit waste or rinse out trucks in the TPZ.
- Avoid grade changes or trenching within or near the TPZ. If it is unavoidable, then follow the guidelines below.
- TPZ's may only be moved or accessed with permission from City Officials, and any work done within TPZ's must be done with a certified arborist present.
- If roots need to pruned, they should be cut with pruning saws, made flush with the side of the trench.
- Trees should be watered twice a week if construction is to take place during hot summer months.

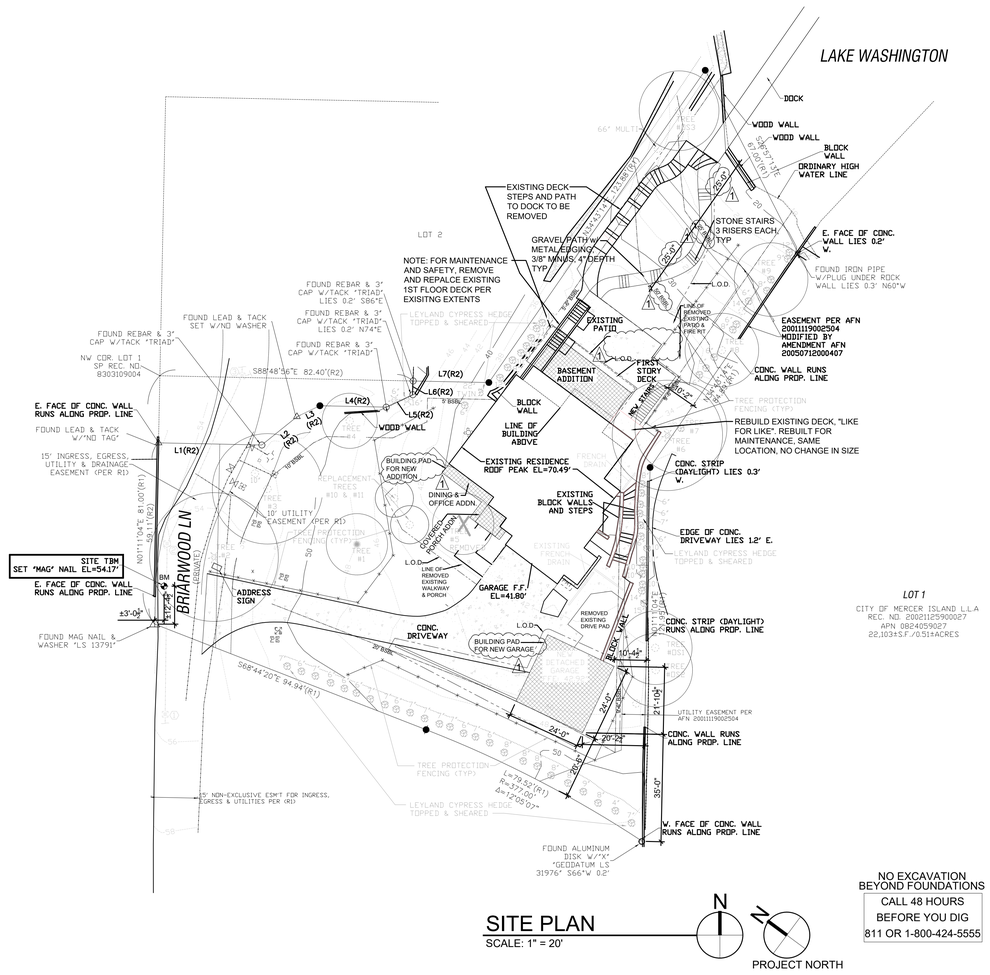
If excavation occurs within the driplines of trees scheduled for retention, the following procedures must be followed to protect them:

- The contractor shall verify the vertical and horizontal location of existing utilities to avoid conflicts and maintain minimum clearances; adjustment shall be made to the grade of the new utility as required.
- The inner root zone shall not be disturbed or cut (inner root zone = half the drip line radius).
- ISA Certified arborist must work with equipment operators during trenching/ excavation. The Arborist should have a shovel, hand pruners, loppers, handsaw, and a sawsall.
- If roots one inch or larger are damaged by equipment, the Arborist shall stop the equipment and have the dirt excavated by hand until the root can be cleanly cut. A clean straight cut shall be made to remove the damaged portion of root, and if possible the roots should be covered in moist burlap until recovered with dirt the same day.
- Boring or tunneling under roots of existing trees is a viable alternative to trenching through roots. It shall be performed under the supervision of an ISA Certified Arborist, and no roots 1 inch in diameter or larger shall be cut.
- The grade shall not be elevated or reduced within the critical root zone of trees to be preserved without the Planning Official's authorization based on recommendations from a qualified professional. The Planning Official may allow coverage of up to one half of the area of the tree's critical root zone with light soils (no clay) to the minimum depth necessary to carry out grading or landscaping plans, if it will not imperil the survival of the tree. Aeration devices may be required to ensure the tree's survival.

TREE RETENTION/ PROVISION CALCULATION

EXISTING ON-SITE TREES		RETAIN	REMOVE	DBH	CREDIT
TREE #1	FLOWERING CHERRY	X		12"	2
TREE #2	Cedrus Atlantica, Atlas Cedar	X		29.5"	10
TREE #3	Quercus, Pin Oak	X		24.8"	8
TREE #4	Acer palmatum, Japanese Maple	X		12.5"	2
TREE #5	Acer palmatum, Japanese Maple		X	11.0"	1
TREE #6	Cedrus Atlantica, Atlas Cedar	X		26.0"	9
TREE #7	Acer Macrophyllum, Big Leaf Maple	X		17.4"	4
TREE #8	Fraxines, Ash	X		21.0"	6
TREE #9	Fraxines, Ash	X		14.0"	3
NEW TREES TO REPLACE REMOVED					
TREE #10	Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEMENT		2"	
TREE #11	Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEMENT		2"	
EXISTING OFF-SITE TREES w/ OVERHANGING LIMBS					
TREE # OS 1	Cuppreseocyparis Leylandii, Layland	X		est 18"	
TREE # OS 2	Cuppreseocyparis Leylandii, Layland	X		est 21"	
TREE # OS 3	Populus Nigra, Black Cottonwood	X		est 44"	
TOTAL CREDITS PROPOSED					45
LOT SIZE				0.50	ACRES
TREES PER ACRE	**PER KZC 95.33**			30.0	
TOTAL CREDITS REQUIRED				15.0	
SUPLEMENTAL TREES TO MEET MINIMUM SIZE WORTH ONE TREE CREDIT AS OUTLINED IN KZC 95.33(4)					

LOT COVERAGE		
LOT SIZE	21,700	SF
LOT COVEREAGE ZONE % - RS 9.6 <15% SLOPE - 40%	8,680	SF
EXISTING LOT COVERAGE		
MAIN STRUCTURE ROOF AREA	2,374	SF
VEHICULAR USE	2,759	SF
TOTAL EXISTING LOT COVERAGE	5,133	SF
NEW LOT COVERAGE		
EXISTING LOT COVERAGE REMOVED	(539)	SF
MAIN STRUCTURE ROOF AREA	170	SF
ACCESSORY STRUCTURE ROOF AREA	608	SF
VEHICULAR USE	232	SF
COVERED PATIOS/DECKS	52	SF
NEW LOT COVERAGE	1,062	SF
TOTAL LOT COVERAGE AREA	6,734	SF
%	26.07%	
HARDSCAPE COVERAGE		
LOT SIZE	21,700	SF
BORROWED FROM LOT COVEREAGE	3,024	SF
HARDSCAPE AREA ALLOWED = 9%+ BORROWED AREA	4,977	SF
% HARDSCAPE AREA ALLLOWED	22.94%	
EXISTING HARDSCAPE COVERAGE		
UNCOVERED DECKS	468	SF
UNCOVERED PATIOS	1,007	SF
WALKWAYS	260	SF
STAIRS	451	SF
ROCKERIES/RETAINING WALLS	181	SF
HARDSCAPE COVERAGE	2,367	SF
HARDSCAPE AREAS REMOVED	728	SF
NEW HARDSCAPE COVERAGE		
UNCOVERED DECKS	-	SF
UNCOVERED PATIOS	32	SF
DOCK PATH	233	SF
STAIRS	49	SF
TOTAL NEW HARDSCAPE COVERAGE	314	
TOTAL HARDSCAPE AREA	1,953	SF
TOTAL HARDSCAPE %	9.00%	
GROSS LOT COVERAGE %	35.07%	
GROSS LOT COVERAGE CHANGE		
EXISTING LOT COVERAGE	5133	SF
EXISTING HARDSCAPE COVERAGE	2367	SF
TOTAL EXISTING GROSS COVERAGE	7500	SF
REMOVED EXIST. LOT COVERAGE	539	SF
REMOVED EXIST. HARDSCAPE	728	SF
TOTAL REMOVED COVERAGE	1267	SF
NEW LOT COVERAGE	1062	SF
NEW HARDSCAPE COVERAGE	314	SF
TOTAL NEW COVERAGE	1376	SF
NET GROSS COVEREAGE CHANGED	109	SF



SITE PLAN
SCALE: 1" = 20'

NO EXCAVATION BEYOND FOUNDATIONS
CALL 48 HOURS BEFORE YOU DIG
811 OR 1-800-424-5555

PROJECT NORTH

GROSS FLOOR AREA CALCULATION ZONE R9.6 (FROM OUTSIDE PERIMETER OF THE EXTERIOR WALLS)				
FLOOR	**EXIST. AREA**	**REMOVED AREA**	**NEW/ADD AREA**	**TOTAL**
UPPER FLOOR	1,430		100	1,530
MAIN FLOOR	1,677		67	1,744
GROSS BASEMENT AREA	1,290	681	380	989
GARAGE	505			505
STAIR CASE GFA MODIFIER			92	92
TOTAL BUILDING AREA	4,902	681	639	4,860
ACCESSORY BUILDING			576	576
LOT AREA	**ZONE**	**ALLOWED GROSS FLOOR AREA (SF)**	**ALLOWED GROSS FLOOR AREA (%)**	
21,700	R9.6	8,000	36.87%	
PROPOSED GROSS FLOOR AREA SQUARE FOOTAGE;				5,436
PROPOSED GROSS FLOOR AREA PERCENTAGE:				25.05%

FIRE AREA CALCULATION (FROM INSIDE PERIMETER OF THE EXTERIOR WALLS)			
AREA			SQ. FTG.
BASEMENT			1,623
1st FLOOR			1,663
2nd FLOOR			1,756
ATTACHED GRAGE			486
COVERED PORCH			64
COVERED DECKS			363
COVERED PATIO			126
TOTAL FIRE SF:			6,081

LOT SLOPE:

HIGHEST ELEVATION POINT OF LOT: 54.4 FEET
LOWEST ELEVATION POINT OF LOT: 18.0 FEET
ELEVATION DIFFERENCE: 36.4 FEET
HORIZONTAL DISTANCE BETWEEN POINTS: 254.7 FEET

LOT SLOPE: 14.3%

SYMBOL LEGEND:

- CENTER LINE
- SANITARY SEWER
- GAS SERVICE
- STORM DRAINAGE
- UNDERGROUND POWER
- WATER SERVICE
- LINE OF ROOF ABOVE
- ABE RECTANGLE
- BUILDING FOOTPRINT
- PROPERTY LINE
- SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EASEMENT LINE
- TREE FENCE
- RETAINING WALL
- LINE OF DISTURBANCE

- FG 386.0' FINISHED GRADE
- EG 386.0' EXISTING GRADE
- TOW 386.0' TOP OF WALL
- BOW 386.0' BOTTOM OF WALL
- B = 411.10' E = 34.25' ABE RECTANGLE MIDPOINT
- TREES
- TREE DRIPLINE
- TREE TO BE REMOVED
- POWER POLE WITH LIGHT
- CONCRETE
- BM BENCH MARK
- SSMH SANITARY SEWER MANHOLE
- S 88° 52' 32" E 296.84' BEARING

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BELLEVUE, WA 98005
TEL: (425) 453-9298

REGISTRATION:

6926 REGISTERED ARCHITECT EMILY D. BUCHWALTER STATE OF WASHINGTON

INTAKE: DATE:

REVISIONS: DATE:
1. Robin Proebsting comments 12-04-20
2.
3.
4.
5.

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

SITE PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

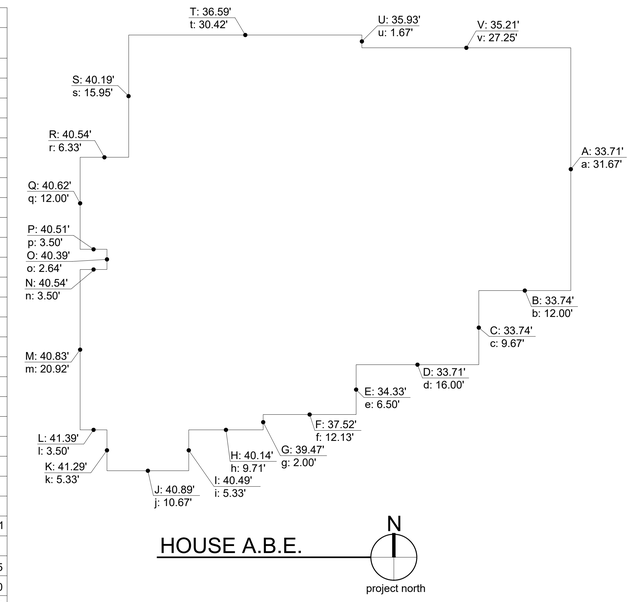
PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

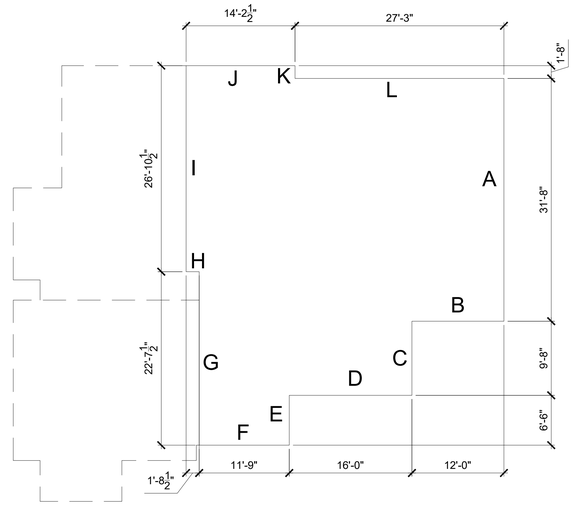
A0.1

9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040

A.B.E. CALC MAIN HOUSE							
MIDPOINT ELEVATION		*	WALL LENGTH		=		
A	33.71		a	31.67			1,067.60
B	33.74		b	12.00			404.88
C	33.74		c	9.67			326.27
D	33.71		d	16.00			539.36
E	34.33		e	6.50			223.15
F	37.52		f	12.13			455.12
G	39.52		g	2.00			79.04
H	40.14		h	9.71			389.76
I	40.49		i	5.33			215.81
J	40.89		j	10.67			436.30
K	41.29		k	5.33			220.08
L	41.39		l	3.50			144.87
M	40.83		m	20.92			854.16
N	40.54		n	3.50			141.89
O	40.39		o	2.64			106.63
P	40.51		p	3.50			141.79
Q	40.62		q	12.00			487.44
R	40.54		r	6.33			256.62
S	40.19		s	15.95			641.03
T	36.59		t	30.42			1,113.07
U	35.93		u	1.67			60.00
V	35.21		v	27.25			959.47
TOTAL:				248.69			9,264.31
AVERAGE BUILDING ELEVATION:							37.25
MAX HEIGHT ALLOWED						+	30.00
MAX ELEVATION						=	67.25
PROPOSED TOP OF ROOF						=	66.03
AMOUNT BELOW MAX:						=	1.22

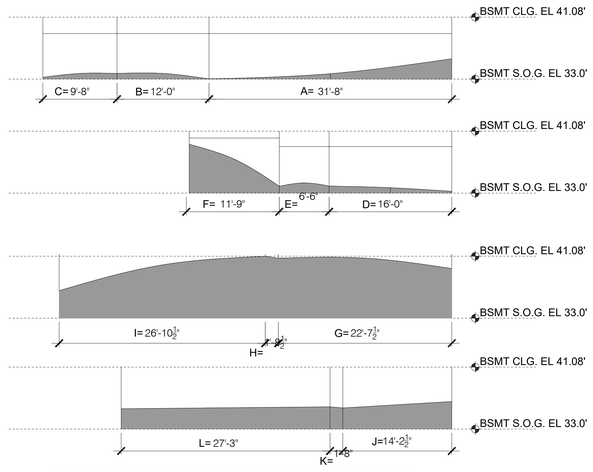


BASEMENT FLOOR AREA EXCLUSION			
WALL	**LENGTH**	**COVERAGE**	**RESULT**
A	31.67	9%	2.85
B	6.50	9%	0.59
C	12.13	9%	1.09
D	23.00	9%	2.07
E	1.71	16%	0.27
F	26.88	55%	14.78
G	14.81	97%	14.37
H	1.67	98%	1.64
I	27.63	86%	23.76
J	31.67	39%	12.35
K	12.00	35%	4.20
L	9.67	34%	3.29
TOTAL:	199.34		81.26
SQ. FT.		**PERCENTAGE**	**EXCLUDED**
1,670		40.76%	681



BASEMENT EXCLUSION

N
project north



POCHE INDICATES PORTION OF WALL COVERED BY EXISTING GRADE

NORTH ELEVATION

EAST ELEVATION

SOUTH ELEVATION

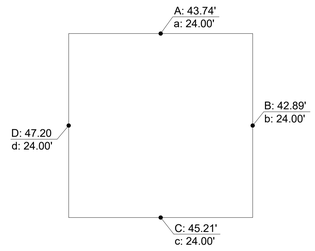
WEST ELEVATION

40% EXTERIOR STRUCTURAL THRESHOLD:

ALL EXTERIOR SURFACE AREA	6,931 SF X 40%=2,772.4 SF
NORTH ELEVATION	639.0 SF
EAST ELEVATION	492.0 SF
SOUTH ELEVATION	304.0 SF
WEST ELEVATION	656.0 SF
ALTERED EXTERIOR AREA	2,091.0 SF < 2,772.4 SF

STRUCTURAL DISTURBANCE

A.B.E. CALC DETACHED GARAGE							
MIDPOINT ELEVATION		*	WALL LENGTH		=		
A	43.74		a	24.00			1,049.76
B	42.89		b	24.00			1,029.36
C	45.21		c	24.00			1,085.04
D	47.20		d	24.00			1,132.80
TOTAL				96.00			4,296.96
AVERAGE BUILDING ELEVATION:							44.76
MAX HEIGHT ALLOWED						+	17
MAX ELEVATION						=	61.76
PROPOSED TOP OF ROOF						=	61.26
AMOUNT BELOW MAX						=	0.50



GARAGE A.B.E.

N
project north

MEDICI ARCHITECTS

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JOB ADDRESS:

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MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

SITE PLAN CALCULATIONS

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A0.2

DIVISION 1 - GENERAL REQUIREMENTS:
The General Contractor shall review the Construction Documents to complete the Work and notify the Architect of resolution for all discrepancies between architectural drawings and structural drawings prior to construction.

DO NOT SCALE DRAWINGS - notify Architect of dimensions in question.

The General Contractor is responsible for checking and reviewing the Building Department approved set of Construction Documents. The Architect shall be promptly notified of required changes; at that time, the Architect will initiate appropriate action.

The General Contractor is responsible for disseminating all information contained in the Drawings, Specifications and Bid Documents to each Subcontractor.

INSTALLATION OF MATERIALS:
All products in the Drawings or Interior Specifications shall be installed in strict accordance with the manufacturer's current published instructions. Manufacturer's instructions in conflict with the Contract Documents shall be brought to the attention of the Architect prior to commencement of the work. Products not provided with installation instructions shall be installed in accordance with the best trade practices of the industry. In any case, workers experienced and skilled in the installation of these items shall install all products.

APPROVAL OF SUBSTITUTIONS:
The General Contractor shall support substitution requests for specified materials with complete data, drawings and samples as necessary for review by the Architect and Owner. Allow time for investigation before a decision must be made. When the Architect approves a substitution, it is with the understanding that the General Contractor guarantees the substituted article to be equal or better than the one specified. Any changes to the Contract shall be done by Change Order.

DIVISION 2 - SITE WORK:
The General Contractor shall verify all dimensions and conditions before proceeding. Any variation from the Drawings and dimension discrepancies shall be brought to the attention of the Architect. Prior to any field changes there must be approval from the Architect.

SITE EXCAVATION, BACKFILL, AND FINISH GRADING:
Excavation site to grades as shown on Drawings (notify Architect of any deviations). Remove all excess material from site. Do not assume on-site material acceptable for backfill. Place washed gravel as shown. Provide compact fill under slabs per structural engineers specifications. Finish-grade site for lawn.

CONCRETE STAIRS:
Provide new concrete as indicated on Drawings. Prepare grade, fill, and compact any soft areas. Place 4" paving over 2" crushed rock and slope to drains as indicated on SITE PLAN, Sheet A0.0.

SITE UTILITIES:
Relocate existing utilities as required to accommodate new residence as indicated on Drawings. Coordinate disconnection of utilities with Owner & City of Mercer Island. The side sewer must be capped in the presence of a Utility inspector. Contact City of Mercer Island Utilities. The capping must be at the property line; or at the sewer main if on the property. Any test tees must be removed. A Side Sewer Permit is required for reconnection. A Water Service Application is required to upgrade existing meter.

SITE DRAINAGE:
Connect all downspouts to storm system per civil drawings. Small Project Type II Option 4. Permeable Pavers.

DIVISION 3 - CONCRETE:

FOUNDATIONS:
Patch rock packets when above grade with sack finish. See STRUCTURAL GENERAL NOTES for supplemental information.

CAST-IN-PLACE ARCHITECTURAL CONCRETE:
All concrete shall be mixed, proportioned conveyed, and placed in accordance with IRC Sections R402.2 and R403. Provide new concrete patio and walkway with control joints as indicated on Drawings. Prepare grade, fill, and compact and soft areas. Pour 4" concrete slab-on-grade with #4 bars at 18" o.c. each way over 2" crushed rock and slope to drains as indicated. Finish shall be exposed aggregate.

DIVISION 4 - MASONRY: Color & style to be selected by owner. Construct brick veneer per IRC 606.

DIVISION 5 - METALS:

METAL FABRICATIONS:
Custom-fabricated metal items including exterior and interior railings and handrails to be approved by Owner and Architect, installed by Contractor. All exposed structural metal connectors to be powder coated, unless noted otherwise. Color to be determined.
Provide neoprene gasket at all dissimilar metal connections, typ.
Structural steel and metal fabrication refer to and comply with structural engineering notes, specification and drawings. Provide shop drawings showing details of fabrication, assembly and installation including templates for anchor bolt placement. Grind smooth exposed welds.
Steel Finishes:
Exterior steel unless noted otherwise - Galvanized, including all bolts, nuts and washers. Interior Steel - See shop drawings

DIVISION 6 - WOODS & PLASTICS:
Refer to and comply with structural engineering notes, specification and drawings. Provide blocking for plumbing fixtures, bath accessories and electrical devices.Per R317.4 Wood/plastic composites used in exterior deck boards, stairs treads, handrails and guard rail systems shall bear a label indicating the required performance levels and demonstrating compliance with the provisions of ASTM D 7032.

TREATED WOOD:
Pressure treated lumber and plywood with water-born preservatives for wood to masonry, wood to structural steel contact and as specifically noted in the drawings.

Structurally glued laminated units: refer to and comply with structural engineering notes, specification and drawings. Seal all surfaces, including cut ends and drilled bolt holes prior to placing members. All exposed to weather units to be treated.

FINISH CARPENTRY:
Comply with AWI quality standards "custom", unless indicated otherwise. Use only seasoned lumber. Conceal fasteners wherever possible, except where exposed fasteners are show. Hot-Dip galvanized or stainless steel fasteners for work exposed to exterior and high humidity. Install exterior trim with minimal possible number of joints. Center joints over vertical members wherever possible. Stagger joints in adjacent related members. Coping to return, miter at corners to produce tight fitting joints. Use scarf joints for end to end joints, install with flush appearance. Kerf backs as required to avoid warping. Hand select lumber for interior trim of similar grain and coloration. Pre-stain seal and finish per owner.

STAIRWAY CONSTRUCTION:
Construct all stairs in accordance with IRC Section R311.7, and as detailed on the drawings.

FIREBLOCKS:
Install fire blocking in wall/ceiling line of concealed soffit spaces and 10-foot intervals both vertical and horizontal, per IRC Section R302.11.

DRAFTSTOPS:
Install draftstops (in common walls separating living units and attics) per IRC Section R302.12.

FIRESTOPS:
Install dwelling unit rated penetrations per IRC R302.4.

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

MOISTURE CONTROL: Per WSEC R301.1.

FOUNDATION WALL DAMPROOFING:
Apply asphaltic emulsion to all below-grade foundation walls. All below-grade foundation walls greater than 48" high shall also be protected with drainage matting (Mirrodrain, Delta-Drain, Enkadrain, or approved equal).

FOUNDATION WALL WATERPROOFING:
All below-grade foundation walls to be sprayed with Graywall waterproofing by Rubber Polymer Corporation. The membrane shall be applied to a minimum thickness of 40-mils to exterior surfaces which are clean and dry, and the ambient air temperature is 15° F or above. Fill honeycombed areas, cracks, and tie-holes with non-shrinking grout before applying the membrane.

All foundation walls greater than 48" high (below grade) shall also be protected by Delta-Drain dampproofing membrane by Cosella-Dorken Products, Inc. Supply all system components including Delta-MS sheet barrier, Delta termination bar, Delta molding strip, Delta plug-and-nail, and all applicable sealants.

THERMAL INSULATION:
(per WSEC 2015 table R402.1.1 & 402.1.3, Refer to table footnotes for additional information)

Fenestration U-Factor	.30
Skylight U-Factor	.50
Glazed Fenestration SGHC	NR
Ceiling R-Value	38 single rafter/joist ceiling 49 @ truss framing & attics
Wood Frame Wall R-Value	21 standard framing @ 16" o.c., R-10 min. @ headers, typ.
Mass Wall R-Value	21 / 21
Floor R-Value	38
Below Grade Wall R-Value	21 int (furred wall standard framing @ 16" o.c., + Thermal Break between slab and basement wall.)
Slab R-Value & Depth	10, 2ft. (For heated slabs, insulation turned up sides & continuous under entire slab).

ACOUSTIC INSULATION:
Provide acoustic insulation at all ceilings and outer walls of bedrooms, bathrooms and laundry rooms.

Walls:	R-19 acoustic batt insulation in 2x6 walls R-13 acoustic batt insulation in 2x4 walls
Ceilings:	R-19 acoustic batt insulation

BUILDING WRAP:
Wrap entire building with 15 lb asphalt-impregnated felt or EnviroDri weather-resistant barrier, field membrane apply in roll, spray or brush; application temperature min.: 0° f; max.: 130° f, application thickness 15 wet mils or more, typical cure time1 <30 min., dry to touch; <8 hours, (wall temp) (110 – 130 sq. ft. / gal) or other product approved by siding manufacture for specific siding material such as Hardie Panel siding.

SIDING:
Hardie plank horizontal siding with 6" exposure & hardie panel. Pre-Stain with 2-coats minimum Benjamin Moore , both sides. Horizontal Corrugated Metal Rib height 7/8". Deck and Siding Stain or equal. Color to be determined. Verify w Architect / Owner, use latex paint only on exterior of siding.

SOFFIT:
Exterior soffit to be 4" T&G tight knot cedar, rough side out. Stain with 2-coats minimum Benjamin Moore "Moorwood" Alkyd Semi-transparent Deck and Siding Stain or equal. Color to be determined.

EXTERIOR STRUCTURAL WOOD SEALER:
Stain exposed wood beams, outlookers, columns, knee braces, rafter tails, etc. with 2-coats minimum Benjamin Moore "Moorwood" Alkyd Semi-transparent Deck and Siding Stain or equal. Color to be determined. Verify w Architect / Owner.

WATERPROOF DECK:
At decks - Plywood surface, 1/4" acx pine or doug fir plywood over 3/4" plywood; primer, tufflex tuff-poxy primer #1; basemembrane, tufflex, tufflex solvent free "tuff" with rubber texture granules; top coat, tufflex color-coat al-ester, color - rocky gray. Installation per manufacturer's specification.

ROOFING MATERIAL:
Architectural :

Manufacturer:	Verify and match existing. TBD by owner
Style:	Wood shake
Color:	Match Existing.
Fasteners:	
Ice & Water Shield:	Install 36" wide across all hips and valleys, and (2) 36" wide courses at all eaves
Underlayment:	Type 30 per ASTM D-226
Valley Flashing:	28 gauge, enameled, min. 24" "W"-flashing
Wall Trays:	26 gauge, enameled, min. 6" trough
Roof to Wall Flashing:	26 gauge, enameled, min. 4" comp. coverage
Pipe Flashing:	26 gauge, enameled, min. 12" skirt
Chimney & Skylight Flashing:	26 gauge, enameled saddle with diverter where width exceeds 2 feet
In-Wall counter flashing:	26 gauge, enameled 7-bar flashing

* DELIVER AND INSTALL PER IRC SECTION R905

GUTTERS AND DOWNSPOUTS:
Lap eave flashing into galvanized 4" half round or square gutters with matching galvanized downspouts connected to 4" diameter rigid PVC tightline and run to approved discharge. Custom fabricated rake at gutter end - soldered seam - 4" or 6" O galvanized downspouts with custom fabricated attachments.
Verify with Architect & Owner for downspout locations. Roof/Deck drains and scuppers shall be installed per IRC Section R903.4; concealed piping shall be installed in accordance with the UPC.

ROOF VENTING:
Per IRC Section R806, IECC CHP 4. R38 batt insulation in single rafter vaulted & low slope ceilings, R38 batt insulation in ceilings with advanced framing, and R49 batt insulation in standard framing provide 1" air gap at top.
Use Best Materials brand TPO/PVC Roof Vent model S-VS08 where drawn. Provide eave and rake venting where shown. Un-vented cavity: 5.5" icynene closed-cell water-based spray foam insulation R-7 per inch. Spray-in where shown.

ROOF FLASHING:
Provide flashing and other weather protection per IRC Sections R903 and R905. Valley flashing shall be enameled metal with v-crimp typical. Roof-to-masonry conditions shall have enameled stepflash and counterflash.

CHIMNEY FLASHING:
Taylor Metal Products Inc.Use manufacturer recommended or equal or greater performing.

DIVISION 8 - DOORS AND WINDOWS:

EXTERIOR DOORS:
All exterior doors shall be selected by owner. Color to be determined. Provide continuous interlocking metal weather-stripping, brass anodized metal threshold, cylinder entry lock access and deadbolt drilling. Double-glazed safety glass, with low-E (color to match windows), as indicated on Drawings. U-Value of doors to be 0.30 or better; doors with more than 50% glazing to have a U-Value of 0.30 or better. Provide screens at sliding doors only when indicated on Drawings. Provide Loewen, Sierra Pacific, Weathershield or equal as approved by Owner.

INTERIOR DOORS:
All swinging interior doors to be solid core, clear coated (both sides) wood veneer or painted both sides. Color to be determined. Verify w Architect / Owner. All pocket-doors premium track and roller hardware. Verify w/Owner.

GARAGE DOORS:
See elevations for panel pattern, Coplay Aluminum with clear coat, style to be selected by owner.

DOOR HARDWARE:
Exterior Doors: To be selected by owner, key lock exterior, knob lock interior, with separate dead bolt to match. To be determined by owner.

Interior Doors: To be selected by owner. Provide privacy locks at all bathrooms and bedrooms; passage latch at all others unless noted otherwise; matching hinges to match latch sets. Verify w/Owner.
Provide 2 pair butts on all 8'-0" high doors, 1-1/2 pair butts on 6'-8" or 7'-0" doors.
Provide door-stops to match hardware.

WINDOWS:
All windows to be double-paned, vinyl - white finish, with insulated low-E glazing. Window performance and construction to conform with IRC Section R609. Simulated divided lites shall have 1" bead stop profile. Hardware finish shall match door hardware. All casement openings shall have roto hardware. All openings weather-stripped by manufacturer; General Contractor shall install "Z"-flashing at heads of all windows and seal window perimeter per manufacturer's specifications. Provide insect screens at all operable locations. Egress shall be provided from all sleeping rooms per IRC Section R310. General Contractor shall review all tempered glass and egress locations. Provide safety glazing per IRC Section R308.4. U-Value of all new window glazing to be 0.30 or better. Provide Loewen, Sierra Pacific, Weathershield or equal, as approved by Architect/owner.

SKYLIGHTS: Install skylights and sloped glazing per IRC 308.6.

DIVISION 9 - INTERIOR FINISHES:

GYPSUM DRYWALL:
Smooth finish 1/2" GWB on walls and ceilings; 5/8" GWB on any ceilings with framing @ 24" o.c.
Provide gypsum drywall construction fire resistant ratings indicated install water- resistant backing board in bathrooms and other similar "wet" areas not otherwise indicated to revive "wonderboard" and tile. Install compound in 3 coats (prefill of cracks recommended by manufacture); sand after last 2 coats.
Attachments: Screw (absolutely no nails)
Accessories and tape: As recommended by gypsum board manufacture and as indicated In the drawings.
Joint compound: United states Gypsum Co. use water-resistant joint compound with water resistant backing board.
Finish: Smooth-walls
Reglets and beads: verify with Architect & Owner as required.

HARDWOOD FLOORING:
To be selected by owner. Apply (3) coats Swedish finish. Install flush wooden floor grilles per mechanical requirements for air venting. Verify location of grilles with Architect & Owner.

STONE FLOORING:
Foyer. Install flush wooden floor grilles per mechanical requirements. Verify location of grilles w/Owner.

BUILT-IN CABINETRY:
Verify w/Owner.

INTERIOR STONE WORK/ HARD SURFACE COUNTERTOPS:
Comply with recommendation contained in national Granite Quarries Assoc., INC. (NBGQA). Stone Slab: Not yet determined, verify with owner. Grout: Hydroment, color as selected by owner. Sealants: as recommended by installer.

INTERIOR WOOD TRIM:
All interior wood trim to be MDF unless noted otherwise. Verify w/Owner.

BASEBOARD TRIM:
Entire residence First Floor shall have a 1/2 x 5 Verify w/Owner MDF baseboard trim. Rooms with ceramic tile flooring shall have a ceramic tile base. Verify w/Owner.

TILE:
Comply with mortar and grout materials and installation standard of the American National Standee Institute (ANSI) standard specification for ceramic tile and manufacturer's instructions for glass mesh mortar units (wonederboard) per manufacture's requirement at bathrooms. Verify exposed edge of the tile meeting carpet, wood, or resilient flooring, unless otherwise indicated.
Grout: Hydroment, color as selected by owner.
Sealants: one -part mildew-resistant silicone sealants per manufacture.

PAINT SPECIFICATIONS:

Verify all finish with owner prior to proceeding. Colors will be selected by owner from standard color available for the coatings required. Apply required prime coat to materials. Provide barrier coats over incompatible primers where required. Provide finish coats which are compatible with primers. Sand lightly between lacquer coats. Apply additional cats until paint film is of uniform finish, color and appearance.

Primed and painted metal: first coat: Poly-amide epoxy second coat: aliphatic polyester finish coat: urethane

Galvanized steel: exposed exterior galvanized steel left unpainted.

Exterior: decking, siding, exterior cedar trim and soffit boards: see specification - division 6 - wood and plastics section.

Wood painted doors: prime and two coats Benjamin Moore Impreva. Color to be selected by owner.

Wood lacquer doors: Two coats tinted semi-transparent UV resistant lacquer. - color to be selected by owner.

Interior wood trim: Two coasts clear semi-gloss transparent UV resistant lacquer or prime and tow coast oil based semi-gloss enamel. Review with owner locations of paint versus lacquer.

GWB: first coat: PVA sealer-primer second coat: interior flat latex (semi-gloss latex enamel in wet locations) third coat: Interior flat latex (semi-gloss at wet locations).

Interior wood panels: two coats shop applied clear tinted semi-transparent UV resistant lacquer. Touch up field cuts as required. Verify w/Owner.

DIVISION 10 - SPECIALTIES:

TOWEL & BATH ACCESSORIES: Existing - Not Applicable
~~Verify w/Owner specs. for all mirrors, towel bars, toilet paper dispensers and any other accessories, whether shown on plans or not. Provide blocking for all accessories as indicated on drawings.~~

STORAGE SYSTEMS:
Consult with Owner on closet storage systems.

DIVISION 11 - EQUIPMENT:

GARAGE DOOR OPENERS:
PROVIDE 2 MIN. EACH

DIVISION 12 - FURNISHINGS: N/A

DIVISION 13 - SPECIAL CONSTRUCTION: N/A

DIVISION 14 - CONVEYING SYSTEMS: N/A

DIVISION 15 - MECHANICAL:

HEATING AND VENTILATION:
Existing HVAC system to remain
Navien Model: NPE-240A-NG Tankless water heater, 199,900 Btu/hr Max, UEF rating .96
meeting option 5c of WSEC for 1.5 credits.

SOURCE SPECIFIC EXHAUST FANS:
All existing exhaust fans shall remain. No new fans added.

METAL DUCTS:
Joints taped, insulated per WSEC 403.2.

GARAGE/ CARPORT DUCTS:
Ducts in the garage/carport and ducts penetrating the walls or ceilings separating the dwelling from the garage/carport must be a minimum of 26 gauge sheet metal with no register outlets into the garage. Ducts outside the protected envelope are excluded from these regulations.

EXHAUST FANS: Existing: Not applicable
Provide exhaust fans where shown on Floor Plans A2.0, A2.1.

THERMOSTAT(S):
Provided by Mechanical Contractor; verify location(s) w/Owner.

GAS APPLIANCE FIREPLACES:
Outdoor Lifestyles, by Hearth & Home Technologies, Lanai ODLANAIG51 outdoor gas fireplace- verify w/Owner
fireplaces.com (800) 927-6841.

PLUMBING:
All plumbing to be installed per the UPC. Existing, gas-fired, (verify capacity) water heaters with R-12 insulation. Provide seismic straps per the UPC. Drain hot water tank pressure-relief valve to outside of building or to floor drain (provide 1" minimum air gap) using hard-drawn copper piping. Provide reticulating pump and plumb for instant hot water. Sources of ignition must be kept at least 18" above floor line. Provide plumbing to all fixtures shown on Drawings. Provide insulation foam at all floor, roof, and wall plumbing penetrations.

To achieve WSEC Credit Option 5a per Table 406.2 all showerhead and kitchen sink faucets shall have maximum flow of 1.75 GPM. All other lavatory faucets shall be rated at 1.0 GPM or less.

SPRINKLER SYSTEM:
Type: Flow-through protection systems. N/A

Automatic sprinklers are required per NFPA 13D and City of Mercer Island Fire Department Standards. Provide a 1" minimum meter connection. Sprinkler system to provide coverage throughout structure, including decks and garage. Designed by a Washington State Certified Engineer. Construction shall conform to the requirements of International Fire Code chapter 14. The system shall be installed, inspected, tested, and approved prior to framing inspection approval. A separate permit may be required. All sprinkler heads shall be recessed. Coordinate locations with lighting plan, typical. Verify with General Contractor & Architect.

DIVISION 16 - ELECTRICAL:

All work shall conform to current and applicable codes and shall be coordinated with the General Contractor. Electrical Contractor shall verify requirements to wire and hook up all exhaust fans, appliances, furnaces, air conditioners and all other equipment requiring electrical service. Electrical Contractor shall verify and acquire approval of panel distribution and service from Owner and General contractor prior to installation.

INSULATION FOAM:
Provide insulation foam at all floor, roof, and wall electrical penetrations.

LIGHTING FIXTURE LAMPS:
Provide and install GE or Sylvania lamps. All incandescent lamps recessed into insulated areas shall be approved for zero-clearance insulation cover.
All fluorescent lamps shall be full-spectrum.

ATTIC SPACES:
Required access opening in all concealed attic areas that exceed 30 sf and have a vertical height of 30" or greater measured from top of ceiling framing members to the underside of the roof framing members. See floor plan for location. Attic access rough-frame opening shall not be less than 22"x30" and shall be located in hallway or accessible location. Section R807.1

SMOKE & CARBON MONOXIDE DETECTORS:
See Sheets A2.0, A2.1, A2/2. Provide and install smoke detectors per IRC Section R314. Hardwire 110-volt unit with battery backup. In alterations, repairs and additions provide and install additionally per IRC Section R314. Provide and install Carbon Monoxide detectors per IRC section R315.

WALL MOUNTED LIGHT FIXTURES:
All wall mounted fixtures shall be mounted +80" from finish floor to centerline of fixture, unless noted otherwise. At bottom light valence, light fixture shall be mounted at +84" and top of mirror shall be at +80".

EAVES:
Provide waterproof duplex outlets under the eaves where shown in drawings. Color shall be approved by Architect & Owner.

BUILT-IN IRONING BOARD: N/A

DOOR CHIME:
Provide wired Dimango door chime and push button; style and color to be determined. Verify w/Owner.

INTERNAL MEDIA WIRING:
Verify and provide telephone, cable, and Internet requirements per Owner.

SOUND SPEAKERS:
Provide recessed sound speakers per Owner.

GROUND FAULT CIRCUIT INTERRUPTER PROTECTION:
Ground fault interrupter required in all bathrooms, on or above countertops within six feet of any sink, in all accessible garage areas, in all crawl spaces, all outdoor areas, and any other locations as required by the NEC.

SWITCHES/OUTLETS AND COVER PLATES:
All switches and outlets shall be blocked out from openings such that cover plates will not conflict with door and window trim or decorative molding, unless noted otherwise. Supply and install cover plates on all electrical, telephone, and cable outlets. All cover plates shall be Decora or equal; color to be determined.

ENERGY CODE COMPLIANCE NOTES:

1. Duct leakage test results shall be provided to the building inspector and home owner prior to the approved final inspection. Ducts shall be leak tested in accordance with WSU RS-33, using the maximum duct leakage rates specified. Duct tightness shall be verified by either of the following:

1. Postconstruction test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the entire system, including the
manufacturer's air handler enclosure. All register boots shall be taped or otherwise
sealed during the test. Leakage to outdoors shall be less than or equal to 4 cfm (133.3 L/min) per 100 square feet of conditioned floor area.

2. Rough-in test: Total leakage shall be less than or equal to 4 cfm (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. All registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 3 cfm (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area. The test results shall be posted on the Residential Energy Compliance Certificate (WSEC 401.3). This shall be present to the inspector as a signed affidavit documenting the duct leakage testing results.

Exception: The total leakage test is not required for ducts and air handlers located entirely within the building thermal envelope. Ducts located in crawl spaces do not qualify for this exception.

2. A Residential Energy Compliance Certificate complying with WSEC 401.3 is required to be completed by the design professional or builder and permanently posted within 3' of the electrical panel prior to the final inspection.

3. Minimum 75% of all interior luminaries shall be high efficacy luminaries and all exterior lighting shall be high efficacy luminaries.

4. Per Requirement for Additions greater than 500 sf, 1.5 energy credit points must be met per table R406.2. Options 5c (Efficient Water Heating) are to be used.

5. Each dwelling unit is required to be provided with at least one programmable thermostat for the regulation of temperature.

6. Per WSEC R402.4, the building thermal envelope shall be constructed to limit air leakage. The results of the test shall be signed by the party conducting the test adn provided to the code official . (R402.4.1.2)

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TEL: (425) 453-9298

REGISTRATION:

6926 REGISTERED ARCHITECT
EMILY D. BUCHWALTER
STATE OF WASHINGTON

INTAKE: DATE:

REVISIONS: DATE:
1.
2.
3.
4.
5.

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

GENERAL NOTES

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

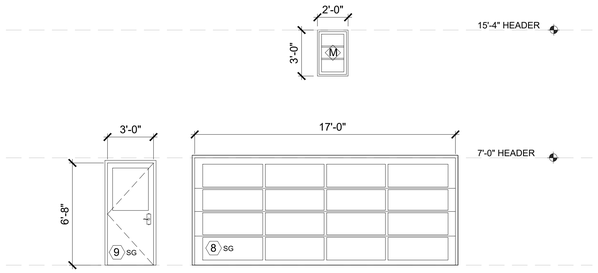
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

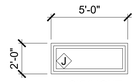
PLOT SCALE: 1:1

A0.3



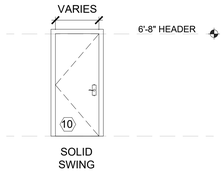
DETACHED GARAGE DOOR AND WINDOWS ELEVATIONS

SCALE: 1/4" = 1'-0"



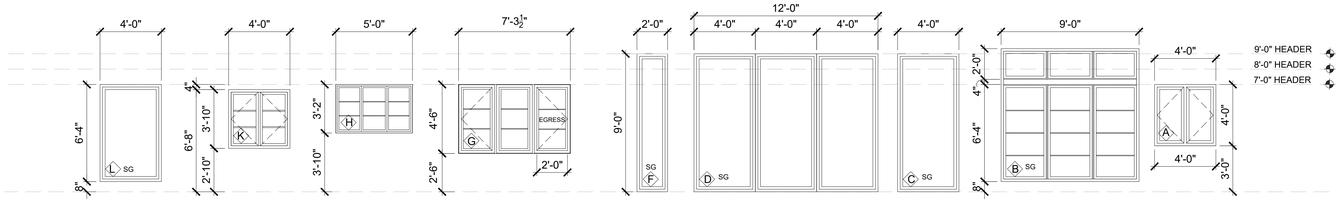
SKYLIGHT ELEVATIONS

SCALE: 1/4" = 1'-0"



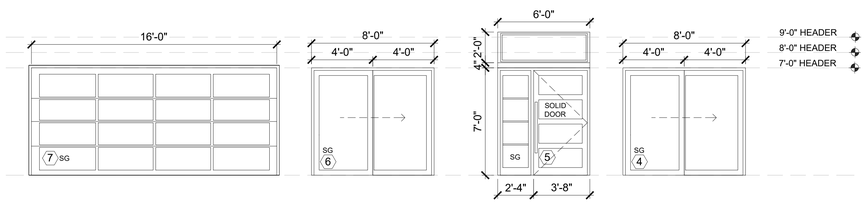
INTERIOR DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"



WINDOW ELEVATIONS

SCALE: 1/4" = 1'-0"



EXTERIOR DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

NOTE:
DIMENSIONS INDICATE ROUGH OPENINGS.
MANUFACTURER TO SIZE WINDOWS ACCORDINGLY.
FIELD MEASURE PRIOR TO ORDERING.VERIFY SIZE REQUIREMENTS FOR EGRESS.

INTERIOR DOOR SCHEDULE

NO	Qty.	LOCATION	W	H	MANUF	TYPE	HARDWARE	REMARKS
10	1	OFFICE	2'-8"	6'-8"	TBD	SOLID SWING	ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2- PAIR OF BUTT HINGES FOR 8'-0" DOORS	
	1	DOOR COUNT						

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=.28 MAX. PER WSEC 2015

WINDOW SCHEDULE

NO	Qty.	LOCATION	WIDTH	HEIGHT	AREA	MANUF.	U-VAL	TYPE	SCREEN	HARDWARE	REMARKS
A	1	NEW EXERCISE ROOM	4'-0"	4'-0"	16.00	TBD	0.28	CSMT/CSMT	Y	TBD	
B	1	FORMAL DINING ROOM	9'-0"	8'-4"	74.70	TBD	0.28	FIXED	N	TBD	TRANSOM,GRIDS
C	1	FAMILY ROOM	4'-0"	9'-0"	36.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
D	1	FAMILY ROOM	12'-0"	9'-0"	18.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS, MULLED
E	1	EXISTING WINDOWS									
F	1	FAMILY ROOM	2'-0"	9'-0"	18.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
G	1	BEDROOM 3	7'-3.5"	4'-6"	32.85	TBD	0.28	CSMT/CSMT/CSMT	Y	TBD	EGRESS, GRIDS
H	1	ABOVE FOYER	5'-0"	3'-2"	15.50	TBD	0.28	FIXED	N	TBD	GRIDS, SAFETY GLASS
I	1	NOT USED	0	0	0.00						
J	1	FOYER	2'-0"	5'-0"	10.00	TBD	0.43	SKYLIGHT	N	TBD	SKYLIGHT
K	1	NEW OFFICE	4'-0"	3'-10"	8.34	TBD	0.28	CSMT/CSMT	Y	TBD	GRIDS
L	2	NEW EXERCISE RM INTERIOR	4'-0"	6'-4"	50.40	TBD		FIXED	N	TBD	STOPPED IN GLASS
M	1	DETACHED GARAGE WINDOW	2'-0"	3'-0"	6.00	TBD		FIXED	N	TBD	NON CONDITIONED
					229.39		0.28		64.23		
					10.00	SF	0.43		4.3		NOTE: SEE A0.3 & A4.0,1,2 FOR WINDOW DIVISIONS
	14	WINDOW COUNT						U X A =	68.53		

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE. CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR SIZES AND EGRESS REQUIREMENTS PRIOR TO ORDERING. VERIFY SWING DIRECTION WITH OWNER
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH
3. ALL WINDOWS TO BE NFRC CERTIFIED AND LABELED

EXTERIOR DOOR SCHEDULE

NO	Qty.	LOCATION	W	H	MANUF.	AREA	U-VAL	TYPE	CONFIGURATION	HARDWARE	REMARKS
1	1	NEW EXERCISE ROOM	12'-0"	7'-0"	TBD	84.0	0.28	SLIDING	XXO		SAFETY GLASS
2	1	NEW SITTING ROOM	12'-0"	7'-0"	TBD	84.0	0.28	SLIDING	XXO		SAFETY GLASS
3	0	NOT USED	0	0	TBD	0.0	0.28				
4	1	KITCHEN	8'-0"	7'-0"	TBD	56.0	0.28	SLIDING	XO		SAFETY GLASS
5	1	FOYER	6'-0"	9'-0"	TBD	54.0	0.28	SOLID SWING WITH SIDE LITE & TRAMSOM		ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2- PAIR OF BUTT HINGES FOR 6'-8"/ 8'-0" DOORS	SAFETY GLASS
6	1	MASTER BEDROOM	8'-0"	7'-0"	TBD	56.0	0.28	SLIDING	XO		SAFETY GLASS
7	1	GARAGE	16'-0"	7'-0"	TBD			OVER HEAD GARAGE DOOR	X	GARAGE DOOR OPENER, SEE ELEVATION FOR DOOR PATTERN	
8	1	DETACHED GARAGE	17'-0"	7'-0"	TBD			OVER HEAD GARAGE DOOR	X	GARAGE DOOR OPENER, SEE ELEVATION FOR DOOR PATTERN	
9	1	DETACHED GARAGE ENTRY	3'-0"	8'-0"	TBD		0.28	SOLID SWING	X	ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2- PAIR OF BUTT HINGES FOR 6'-8"/ 8'-0" DOORS	1/2 LIGHT, SAFTY GLASS
TOTAL					SF	334.0	0.28	TOTAL U x A =	93.5		

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=.28 MAX. PER WSEC 2015
5. ALL DOOR WITH GLAZING TO BE NFRC CERTIFIED AND LABELED

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BELLEVUE, WA 98005
TEL: (425) 453-9298

REGISTRATION:

6926 REGISTERED ARCHITECT
EMILY D. BUCHWALTER
STATE OF WASHINGTON

INTAKE: DATE:

REVISIONS: DATE:
1.
2.
3.
4.
5.

PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

SCHEDULES

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A0.4

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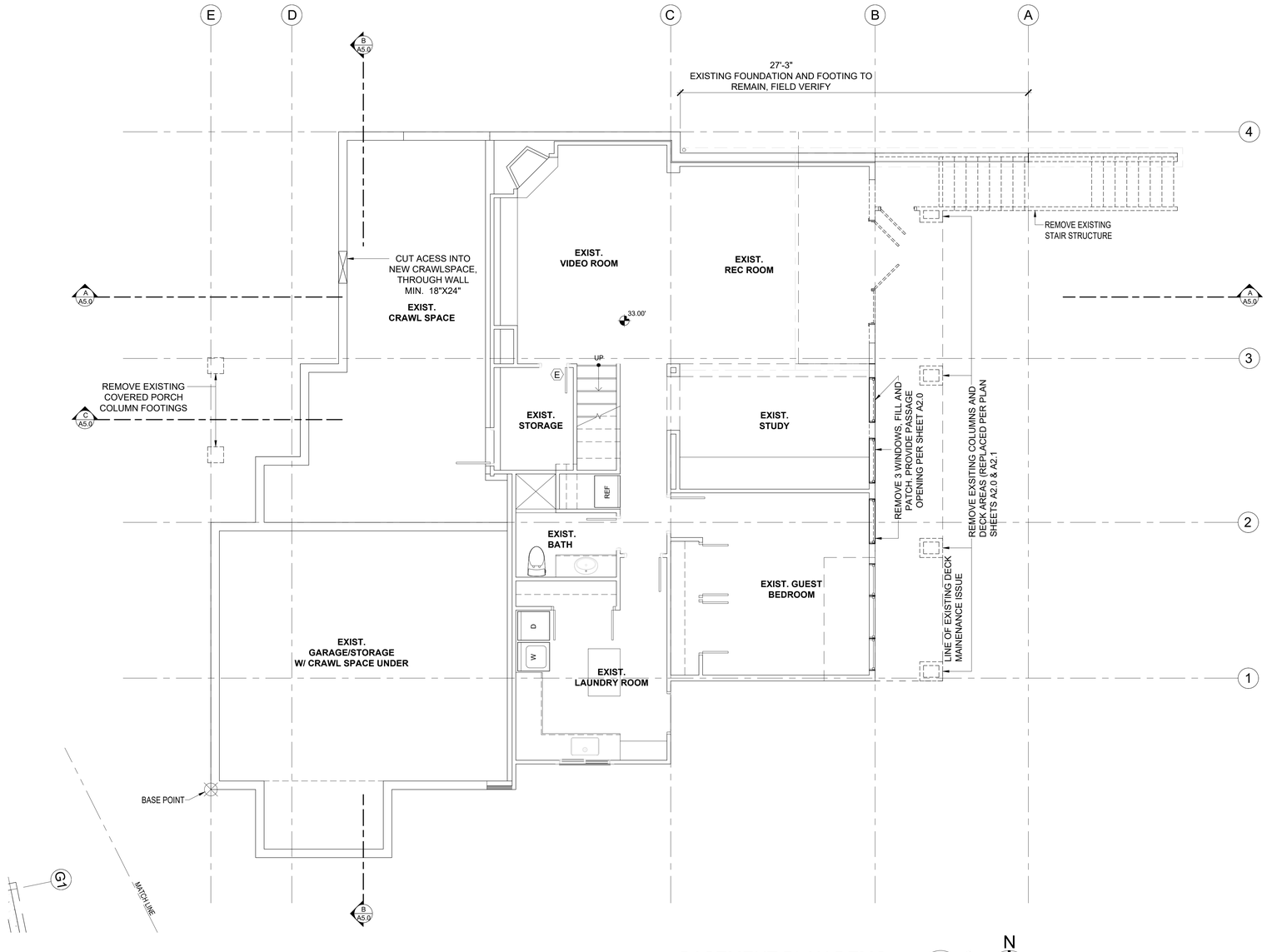

BASEMENT PLAN DEMO

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO SITE PLAN FOR ANY SITEWORK TO BE REMOVED.
3. RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMODATED NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS REQUIRED.
5. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE.
6. PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR HEADERS.
7. CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCUPIED AREAS.
8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

EXISTING STRUCTURE TO REMAIN

EXISTING STRUCTURE TO REMAIN

EXISTING DOOR TO REMAIN

EXISTING STRUCTURE TO BE DEMOED

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JOB ADDRESS:

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MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

DEMOLITION
BASEMENT

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

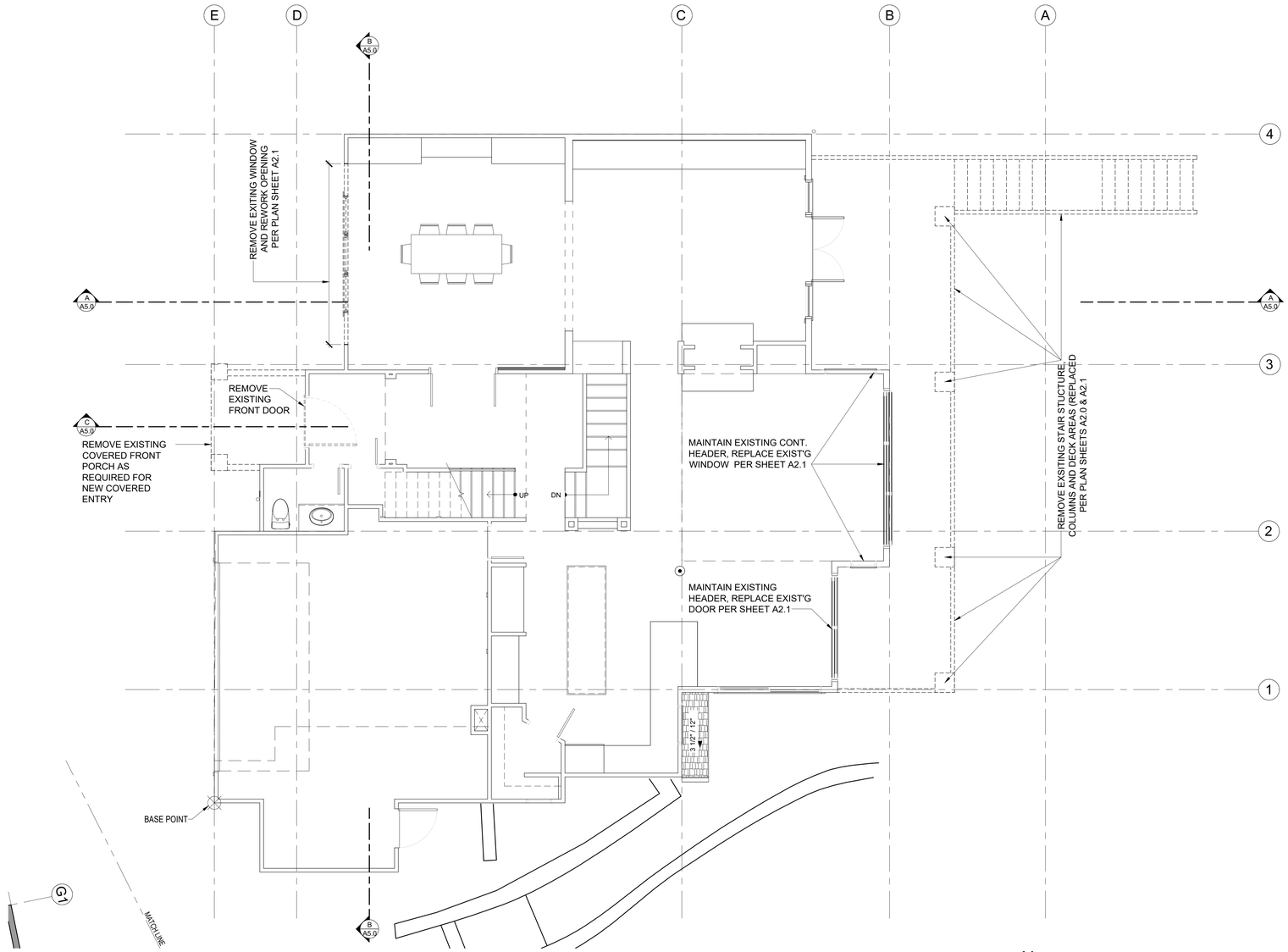
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

D1.0



1ST FLOOR PLAN DEMO

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

DEMOLITION PLAN NOTES

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8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

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MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

DEMOLITION
1ST FLOOR

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

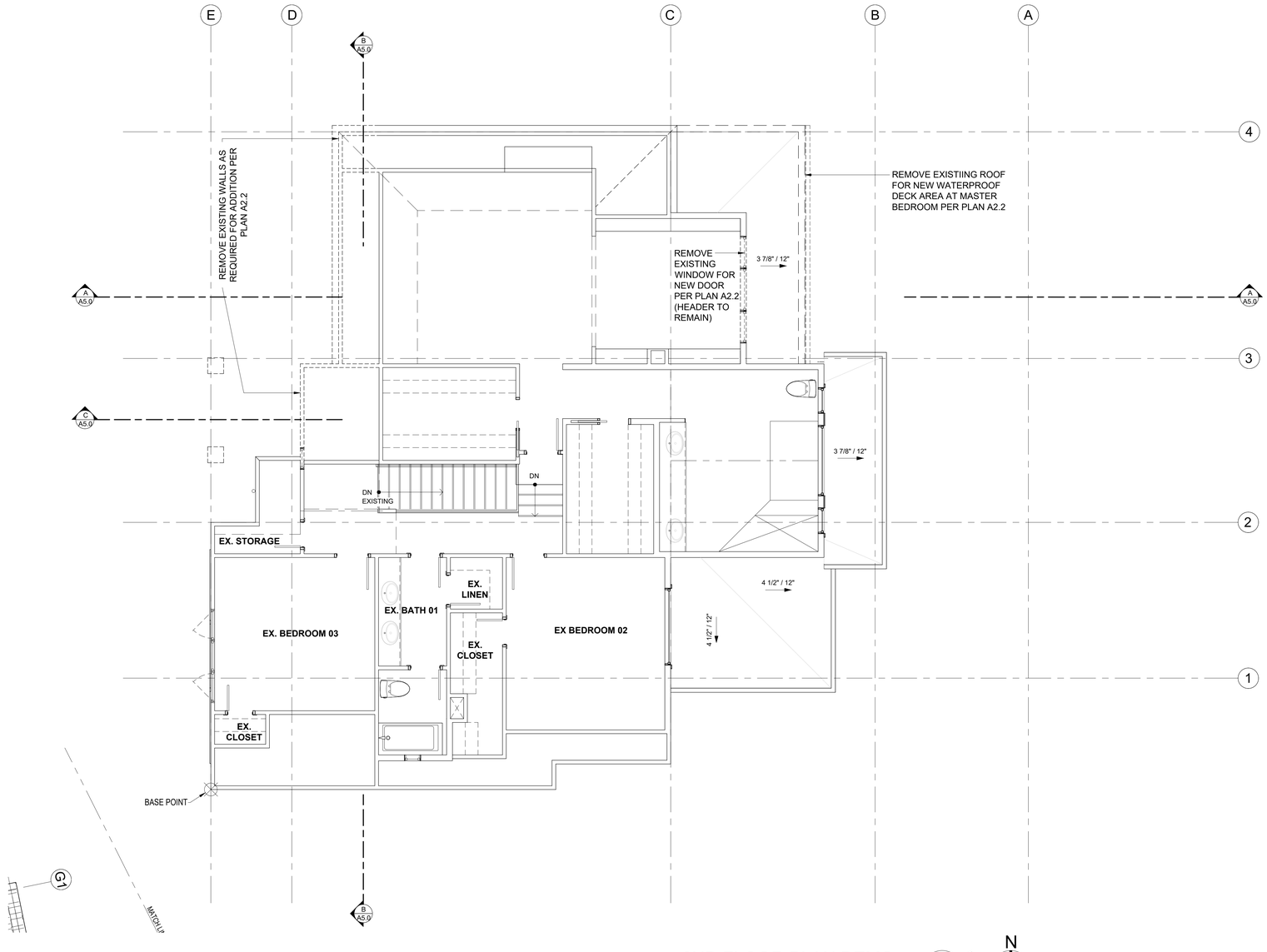
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

D1.1



2ND FLOOR PLAN DEMO

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO SITE PLAN FOR ANY SITEWORK TO BE REMOVED.
3. RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMODATED NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS REQUIRED.
5. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE.
6. PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR HEADERS.
7. CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCIPIED AREAS.
8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

EXISTING STRUCTURE TO REMAIN

EXISTING STRUCTURE TO REMAIN

EXISTING DOOR TO REMAIN

EXISTING STRUCTURE TO BE DEMOED

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JOB ADDRESS:

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MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

DEMOLITION
2ND FLOOR

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

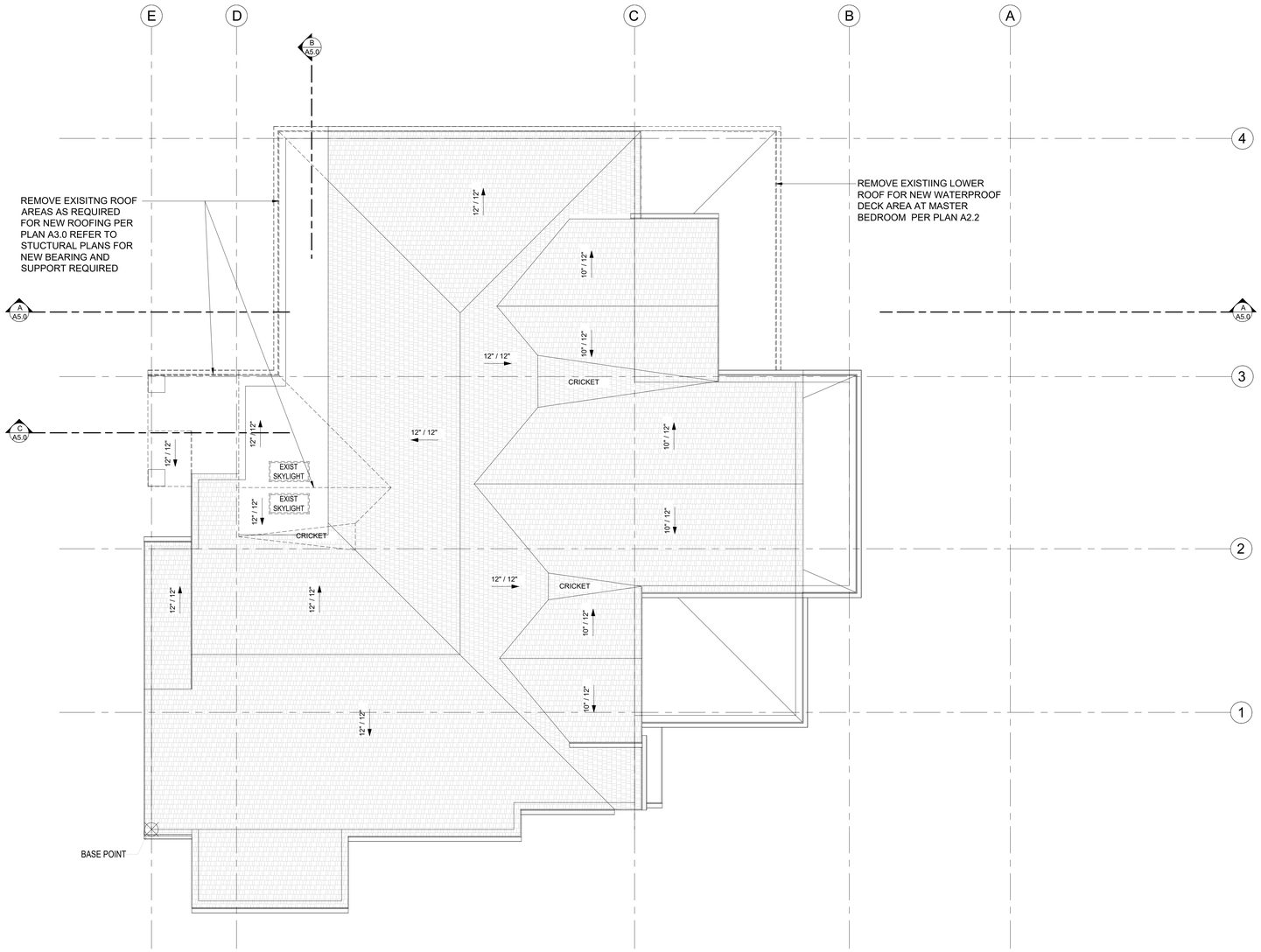
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

D1.2



ROOF PLAN DEMO

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

DEMOLITION PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO SITE PLAN FOR ANY SITEWORK TO BE REMOVED.
3. RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMODATED NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS REQUIRED.
5. CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE.
6. PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR HEADERS.
7. CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCUPIED AREAS.
8. REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
9. SEE SHEET A0.3 FOR ADDITIONAL NOTES.

SYMBOL LEGEND

EXISTING STRUCTURE TO REMAIN

EXISTING STRUCTURE TO REMAIN

EXISTING DOOR TO REMAIN

EXISTING STRUCTURE TO BE DEMOED

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9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

DEMOLITION
ROOF

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

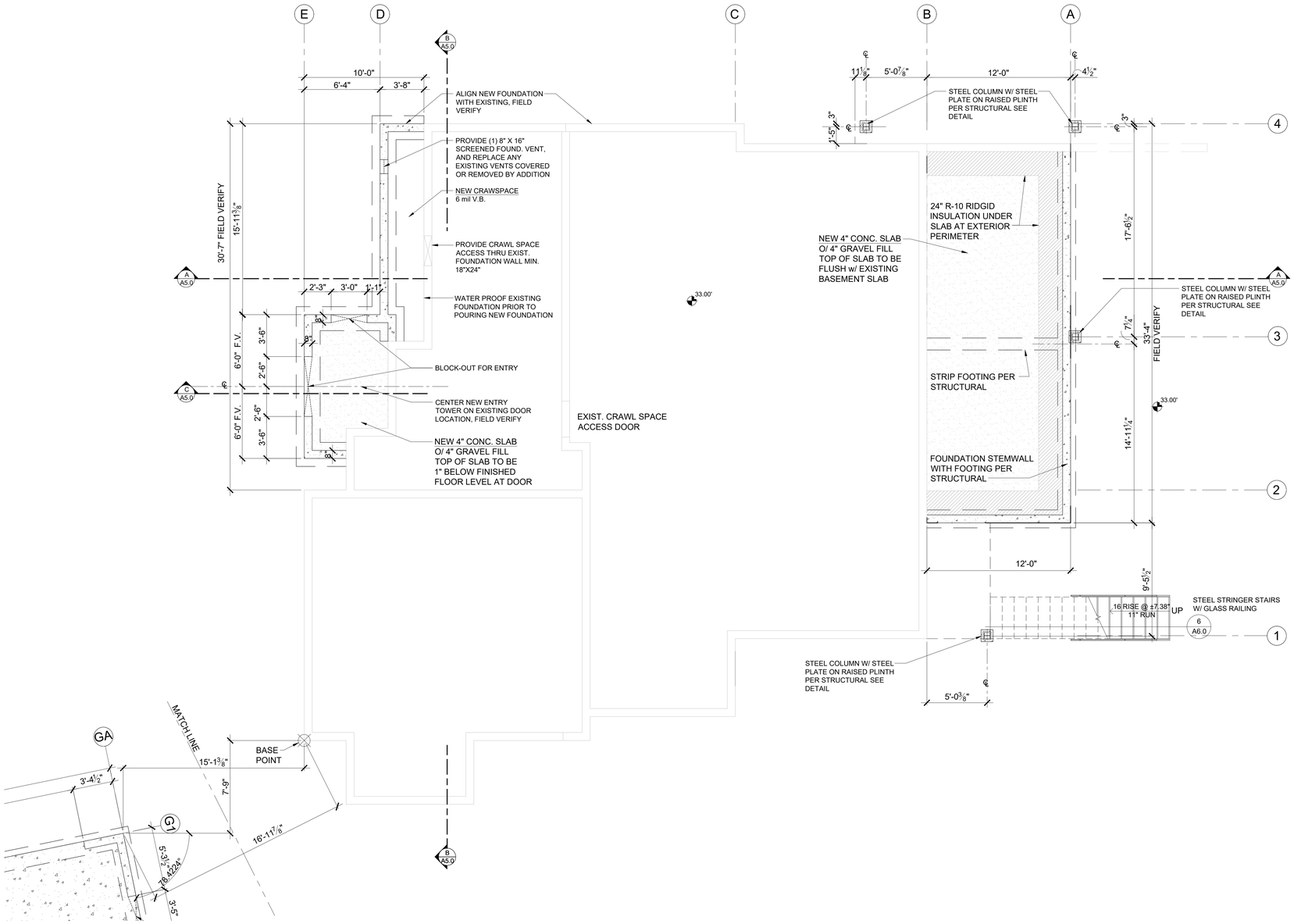
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

D1.3



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH / PROJECT NORTH

CRAWL SPACE - VENTILATION CALCULATION				
Added Crawl Space Area:	51	s.f.		
Ventilation Required:	51	s.f. x 144 s.i.1 /1,500*=	4.9	s.i. Req'd
Use:	16"x8"	Foundation Vents		
Vent Area =	98.0	s.i. - 25% reduction + 1/4" mesh	73.5	s.i.
Number of vents required:	4.9	s.i. / vent area	0.1	vents
Provide:	1.0		73.5	Provided
Total Min. Ventilation Provided =	**73.5**	**s.i. IS GREATER THAN**	**4.9**	**s.i. Req'd**
*** 2015 IRC - PER R408.1 THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE**				

SYMBOL LEGEND

- EXIST.FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN
- CRAWL SPACE VENT

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MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

FOUNDATION PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

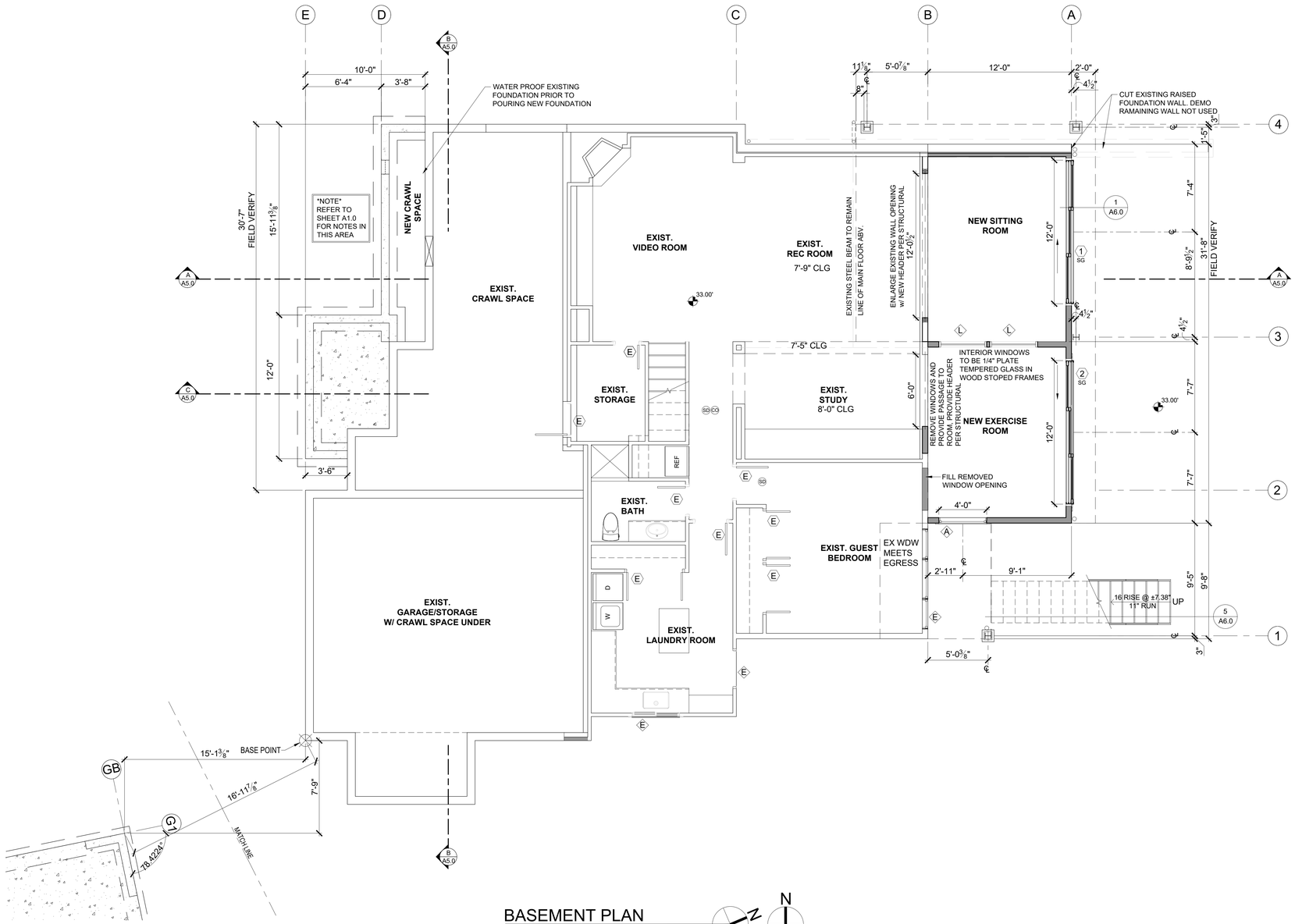
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A1.0



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

N

TRUE NORTH PROJECT NORTH

FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4.5" U.N.O.
7. SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
10. INSTALL SIMPSON CONC. TO WOOD HOLDOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
11. SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
    - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
    - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
    - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
    - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
12. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
13. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
14. ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED, COLOR TO BE DETERMINED.

SYMBOL LEGEND

- SD — SMOKE DETECTOR
- CO — CARBON MONOXIDE DETECTOR
- 9 — DOORS
- C — WINDOWS
- EXIST.FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

HOUSE VENTILATION

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6.

SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
A	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)
B	Kitchen	Min. 100 cfm (INTERMITTENT)@ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.
C	Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT

DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE

*ALL FANS TO VENT TO OUTSIDE

**PER M1507.3.4: WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

NOTE:
ALL SHOWERHEAD AND KITCHEN SINK FAUCETS SHALL BE RATED @ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED @ 1.0 GPM OR LESS.
CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.

LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.

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JOB ADDRESS:

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MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

BASEMENT CONSTRUCTION PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

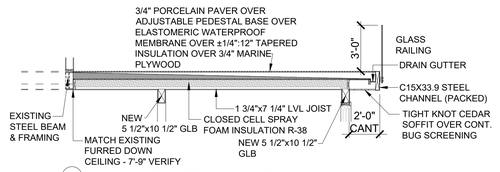
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

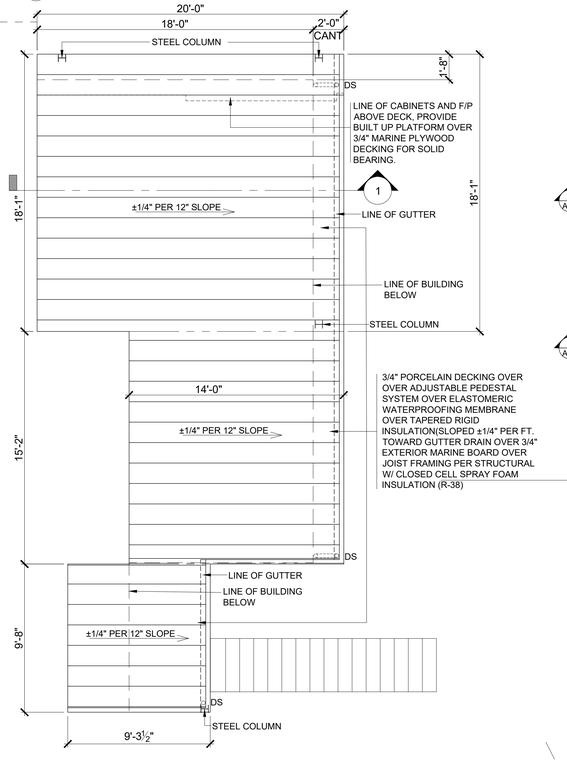
DATE: 12-22-2020

PLOT SCALE: 1:1

A2.0

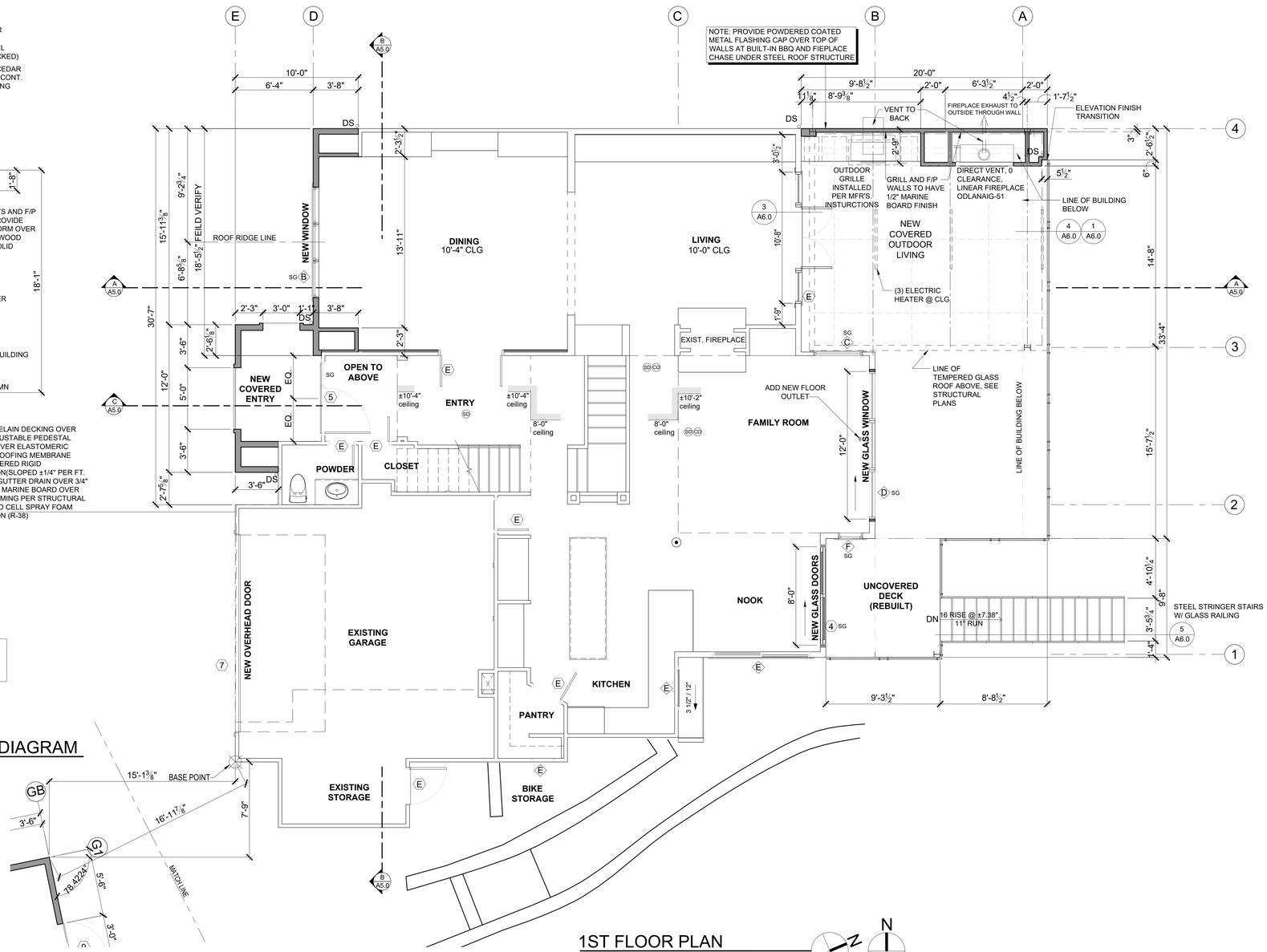


1 SECTION AT OUTDOOR LIVING DECK



DECK DRAINAGE DIAGRAM

SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
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3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4.5" U.N.O.
7. SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
10. INSTALL SIMPSON CONC. TO WOOD HOLDOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
11. SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
    - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
    - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
    - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
    - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
12. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
13. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
14. ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED, COLOR TO BE DETERMINED.
15. AT COVERED DECK STEEL POSTS INSTALL WATERPROOF FLUID MEMBRANE UP TO UNDERSIDE OF PAVER SURFACE.
16. APPLY WATERPROOF FLUID MEMBRANE UP SIDES OF EXISTING STRUCTURE AND FLASH.
17. APPLY WATERPROOF FLUID MEMBRANE AT BUILT-IN CABINETS AND FIREPLACE WALL AND FLASH.

SYMBOL LEGEND

- SD — SMOKE DETECTOR
- CO — CARBON MONOXIDE DETECTOR
- 9 — DOORS
- C — WINDOWS
- EXIST.FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

HOUSE VENTILATION

2015 IRC → PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6.

SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
A	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)
B	Kitchen	Min. 100 cfm (INTERMITTENT)@ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.
C	Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT

DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE

*ALL FANS TO VENT TO OUTSIDE

**PER M1507.3.4: WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

NOTE:
ALL SHOWERHEAD AND KITCHEN SINK FAUCETS SHALL BE RATED @ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED @ 1.0 GPM OR LESS. CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.

LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.

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TEL: (425) 453-9298

REGISTRATION:

6926 REGISTERED ARCHITECT EMILY D. BUCHWALTER STATE OF WASHINGTON

INTAKE: DATE:

REVISIONS: DATE:
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PROJECT / CLIENT:

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ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

1ST FLOOR
CONSTRUCTION PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

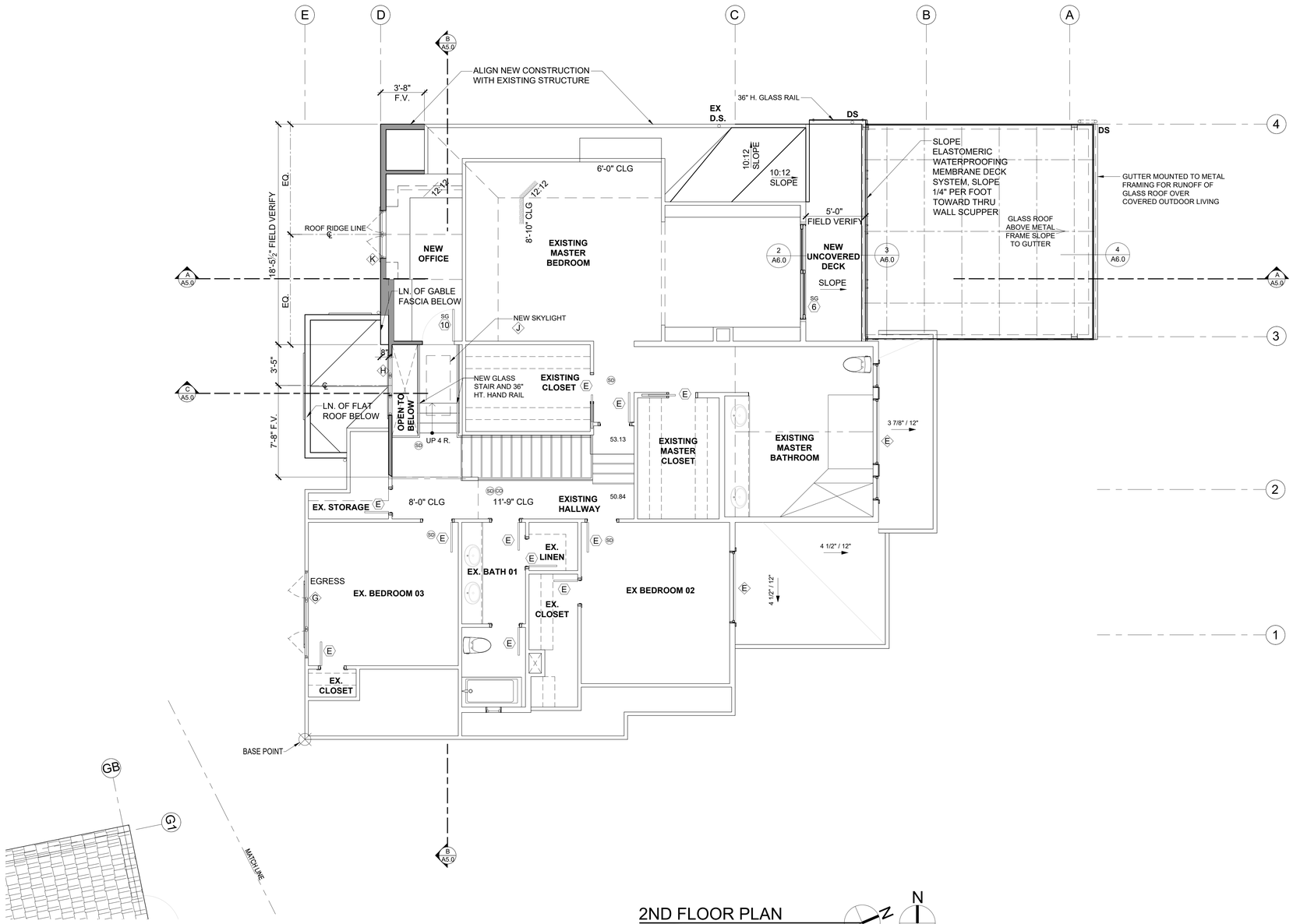
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A2.1



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4.5" U.N.O.
7. SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
10. INSTALL SIMPSON CONC. TO WOOD HOLDOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
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- EXISTING 2X WALLS
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TRUE NORTH PROJECT NORTH

HOUSE VENTILATION

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MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

2ND FLOOR
CONSTRUCTION PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

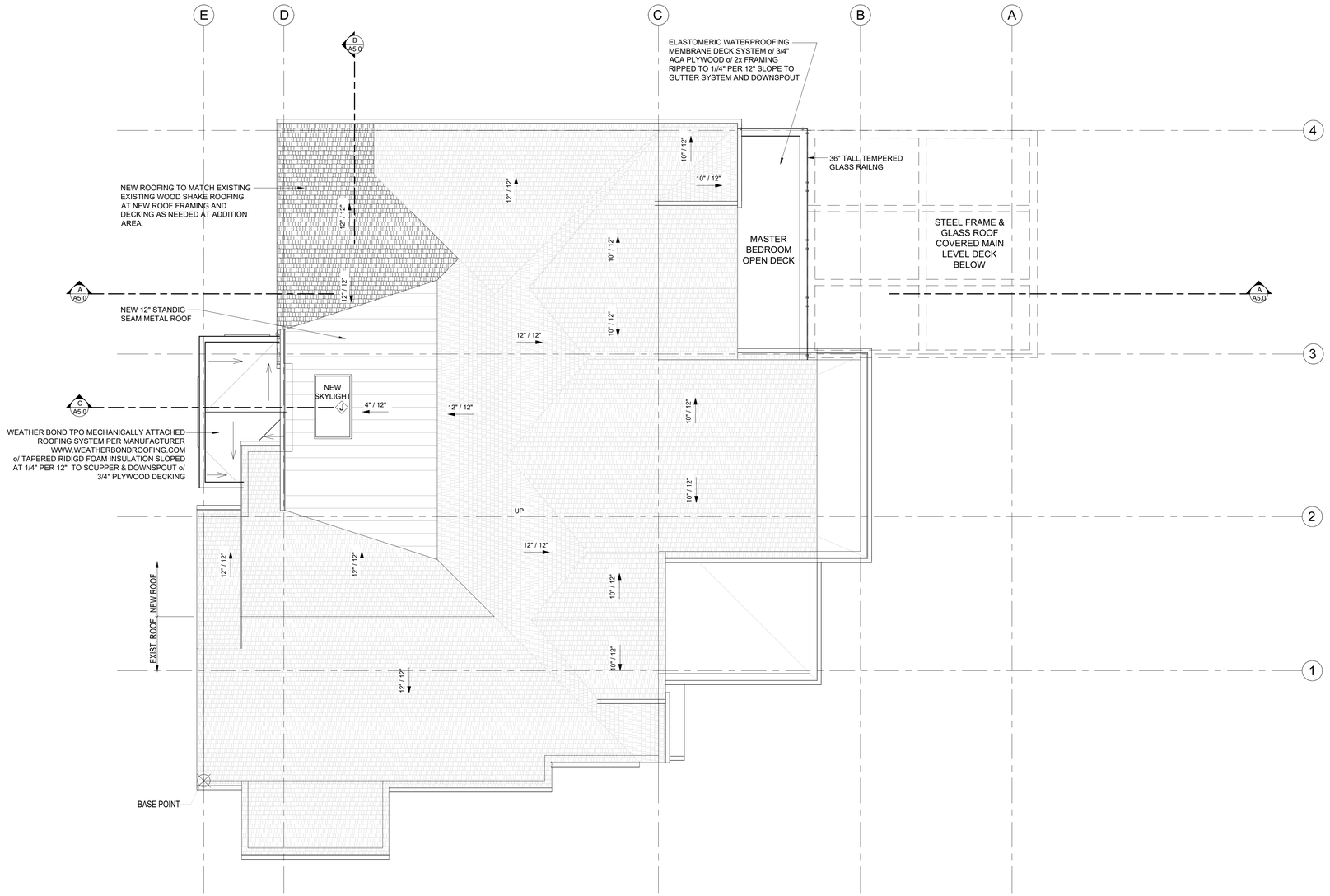
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A2.2



ROOF PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

ROOF - VENTILATION CALCULATION				
Stick built Roof Construction:				
Roof Area:	356.7	s.f.		
Ventilation Required:	356.7	s.f. x 144 s.i. / 300*=	171.2	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	20.0	l.f. Upper Ventilation =	90.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	20.0	l.f. Eave Edge Ventilation =	90.0	
Total Ventilation Provided	180.0	s.i. IS GREATER THAN	171.2	s.i. Req'd

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PARCEL # 082405-9027

DRAWING NAME:

ROOF PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

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PLOT SCALE: 1:1

A3.0

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2. MATCH EXISTINGCEDAR SINDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDDAR SIDING TO OLD AND EXTEND VAPOR BARIOR MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
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7. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
8. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
9. LIGHTING AT EXTERIOR DOORS, TYP.
10. POWDER COATED COPING
11. TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GREY, SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.
12. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
13. 12" STANDING SEAM METAL ROOFING, INSTALL PER INDUSTRY STANDARDS. COLOR FINISH TO BE SELECTED BY OWNER.
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15. POWDER COATED STEEL COLUMN OR C-CHANNEL PER STRUCTURAL.
16. FIRE PLACE VENT
17. HOOD VENT OVER BARBEQUE.
18. FRONT ENTRY DOOR: FRONT ENTRY DOOR SHALL BE ALUMINUM, MINIMUM1-3/4" THICK, 42" WIDE SINGLE SOLID DOOR WITH ONE SIDELIGHT AND TRANSOM WINDOW ABOVE, DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E. PROVIDE ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. U-VALUE OF DOORS TO BE 0.30 (2015 WSEC) OR BETTER. PROVIDE EUTHERM ALUMINUM DOOR OR EQUAL AS APPROVED BY ARCHITECT.
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20. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.
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22. WOOD DECKING OVER RIPPED CEDAR DECK JOIST OVER 3/4" MARINE BOARD WATER MEMBRANE ROOFING PER IRC. R905.13 AND CLOSED CELL SPAY FOAM R-38.
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NOTE:
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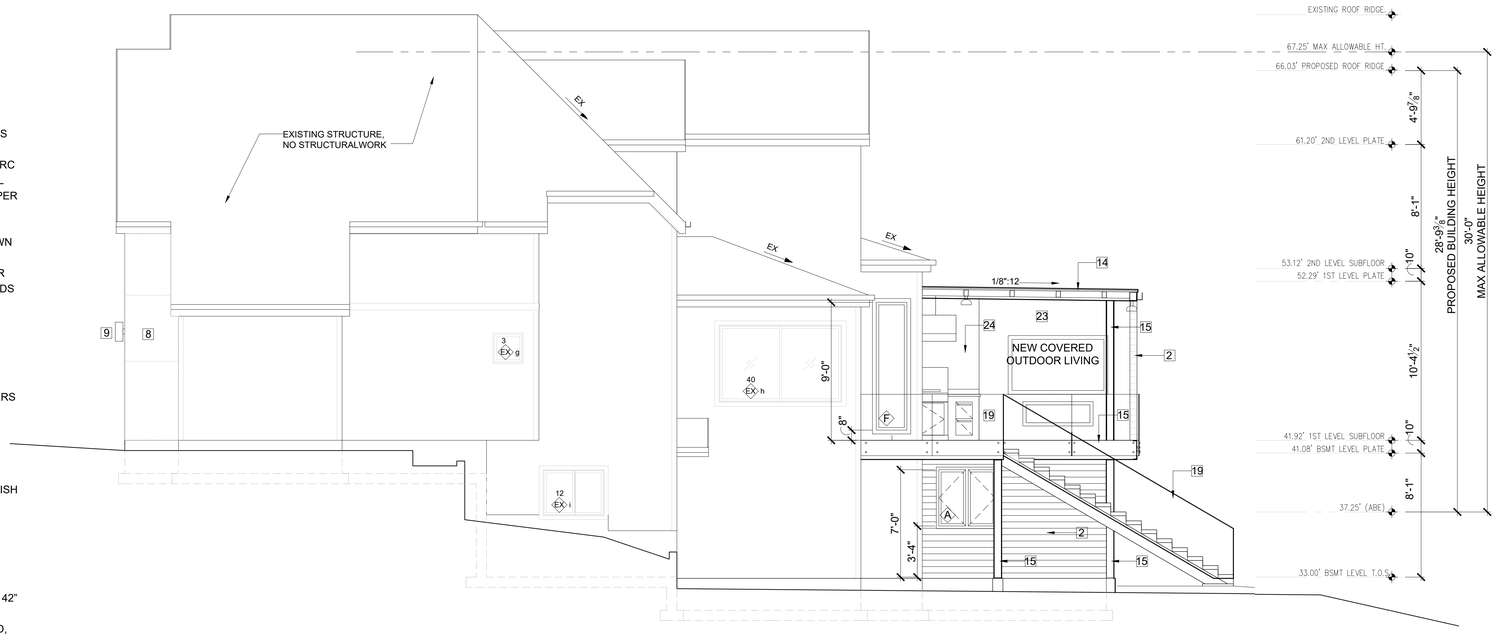
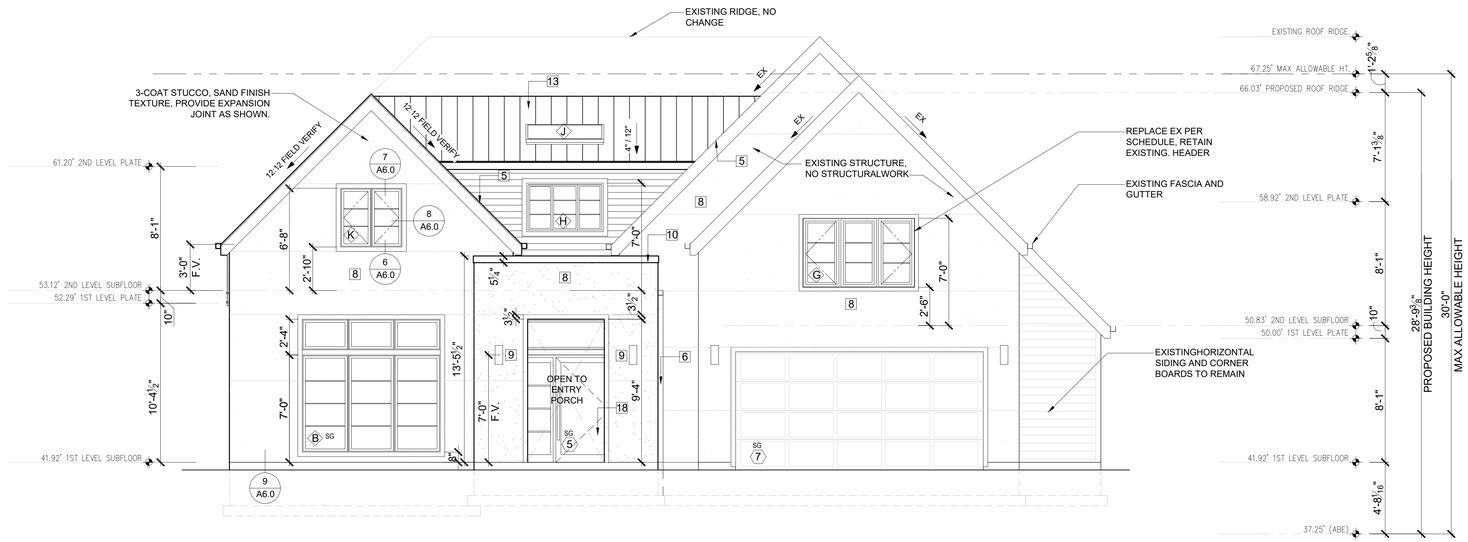
PER IRC - 301.5 CONCENTRATED LOAD. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

R312.2.1 - WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTION OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
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A4.0

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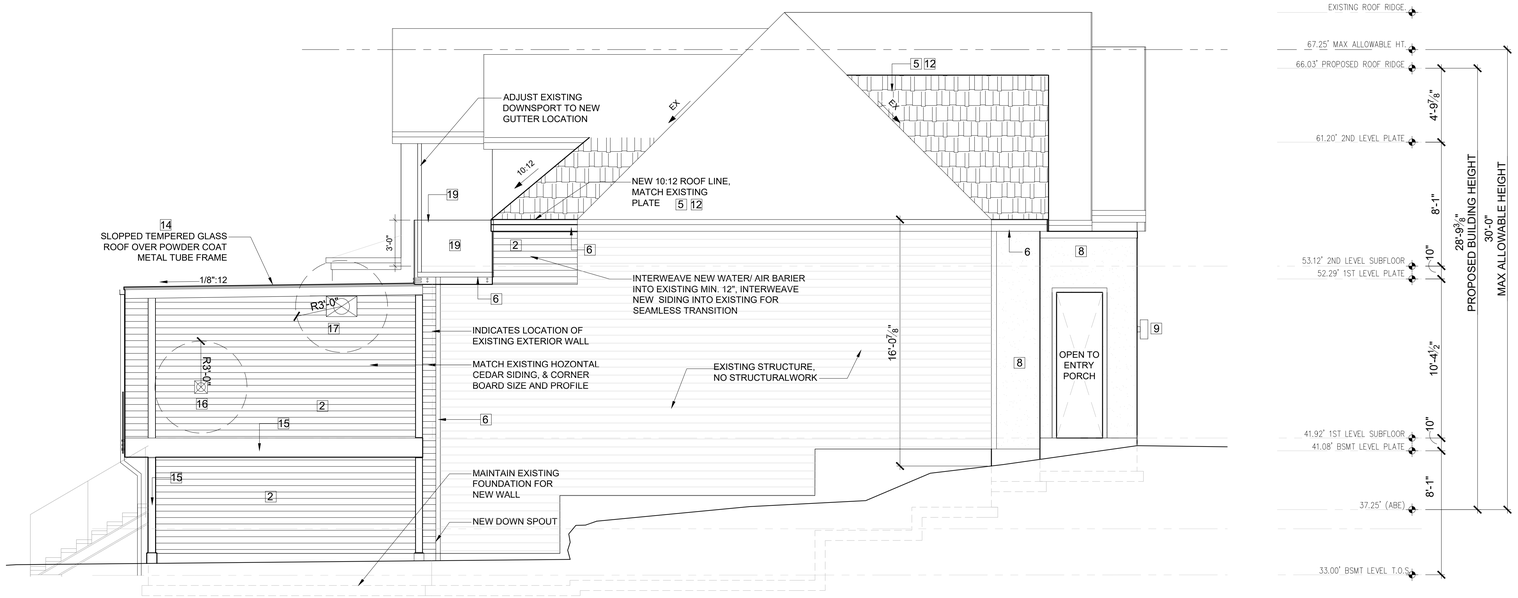
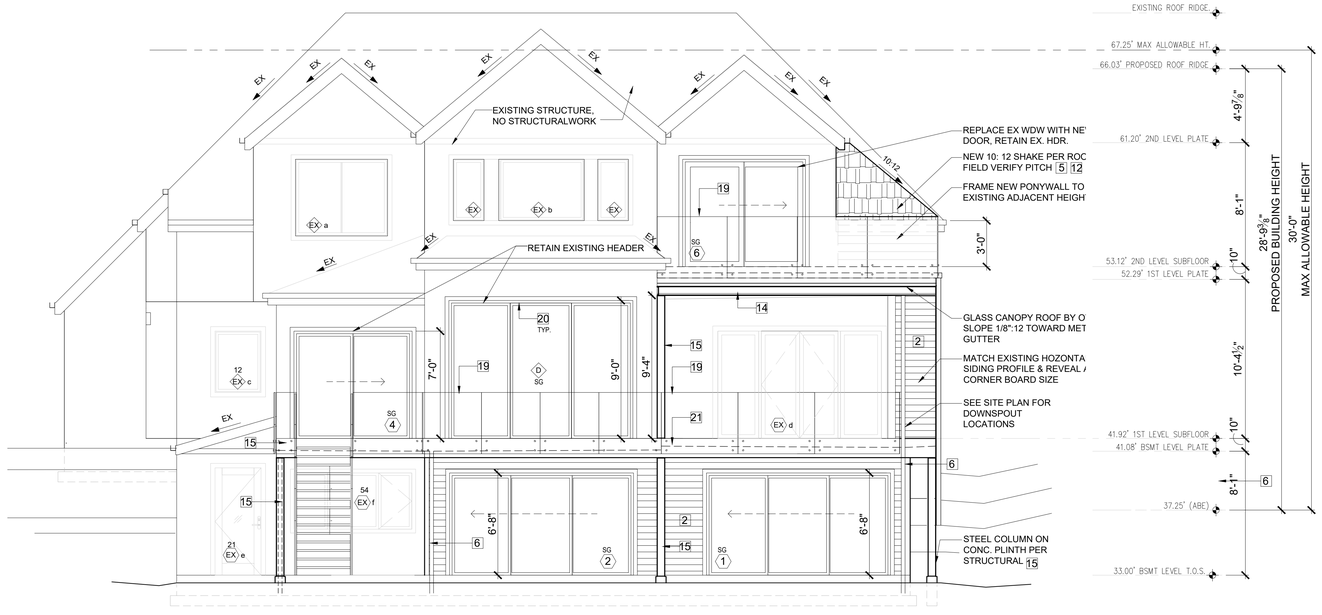


NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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TEL: (425) 453-9298

REGISTRATION:

6926 REGISTERED ARCHITECT EMILY D. RUCHWALTER STATE OF WASHINGTON

INTAKE: DATE:

REVISIONS: DATE:
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PROJECT / CLIENT:

9820 SE 35TH PLACE
ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

ELEVATIONS

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

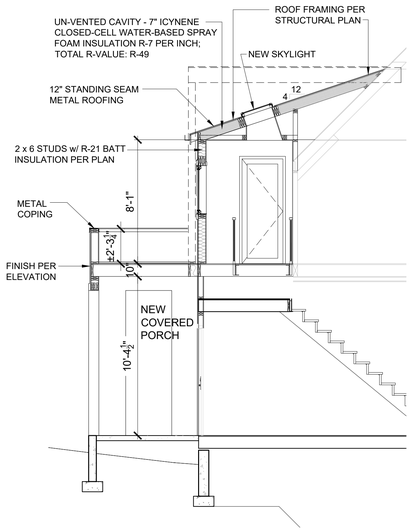
CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

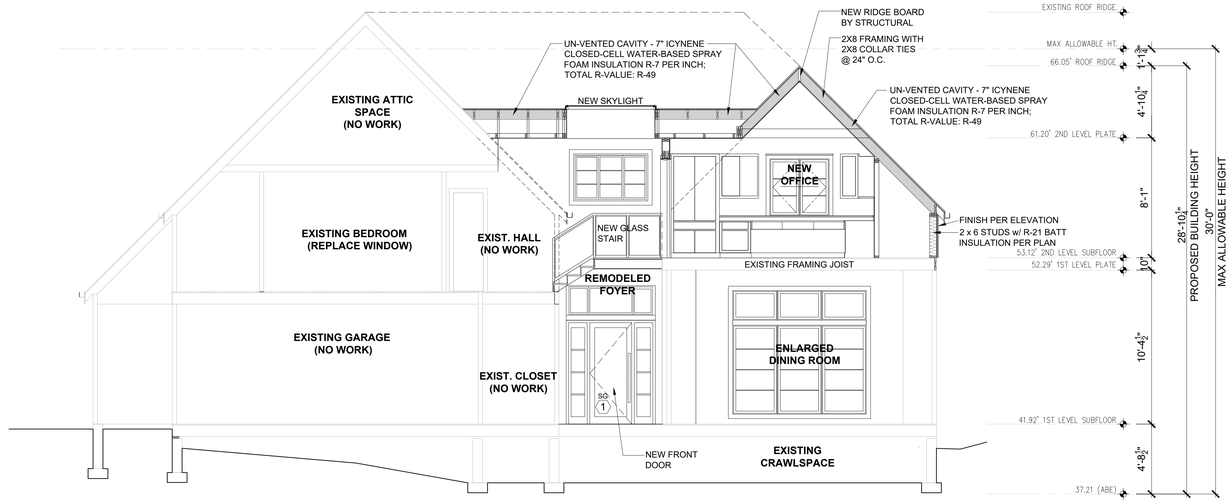
A4.1



FOYER STAIR SECTION C

SCALE: 1/4" = 1'-0"

C



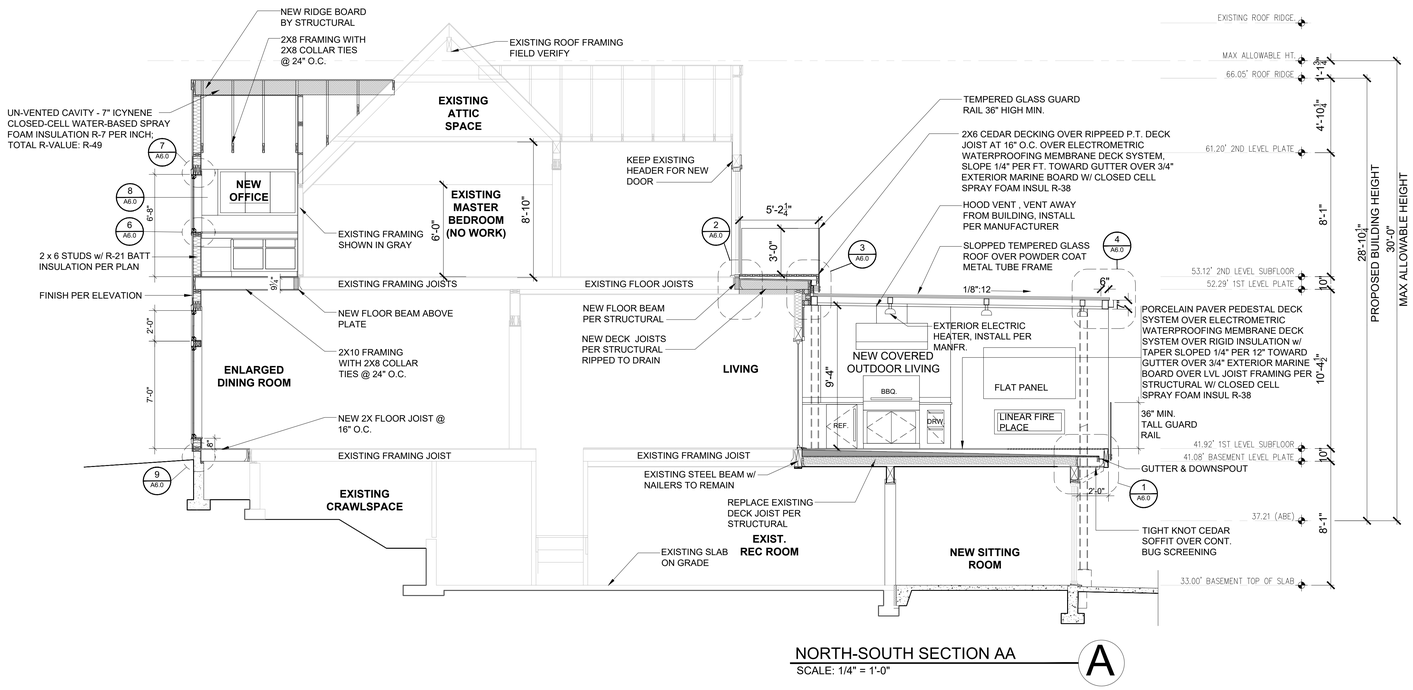
EAST-WEST SECTION BB

SCALE: 1/4" = 1'-0"

B

THERMAL INSULATION:

Walls (below-grade, exterior):	R-10 rigid insulation
Walls (below-grade, interior):	R-21 batt or rigid insulation
Walls (above-grade):	R-21 batt or rigid insulation
Headers:	R-10 rigid insulation
Ceilings (advanced framing):	R-38 batt
Ceilings (standard framing):	R-49 batt
Ceilings (vaulted):	Icynene with min R-49
Floors:	R-30 batt or rigid insulation
Slab:	R-10 water-resistant rigid insulation
Solid doors:	U-value of .20 or better
Windows & doors with glazing:	U-value of .30 or better
Skylights:	U-value of .50 or better



NORTH-SOUTH SECTION AA

SCALE: 1/4" = 1'-0"

A

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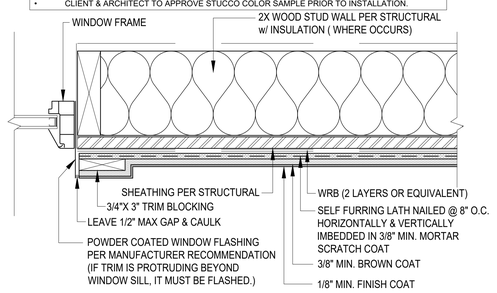
PLOT SCALE: 1:1

A5.0

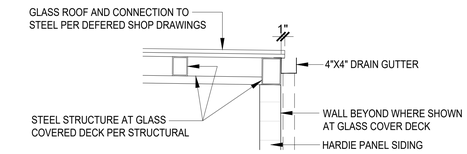
16 XXX
SCALE: 1" = 1'-0"

12 XXX
SCALE: 1" = 1'-0"

NOTES:
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.
- REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.
- CLIENT & ARCHITECT TO APPROVE STUCCO COLOR SAMPLE PRIOR TO INSTALLATION.



8 WINDOW JAMB @ STUCCO
SCALE: 3" = 1'-0"



4 GLASS COVERED DECK STRUCTURE DETAIL
SCALE: 3/4" = 1'-0"

15 XXX
SCALE: 1" = 1'-0"

11 XXX
SCALE: 1" = 1'-0"

NOTES:
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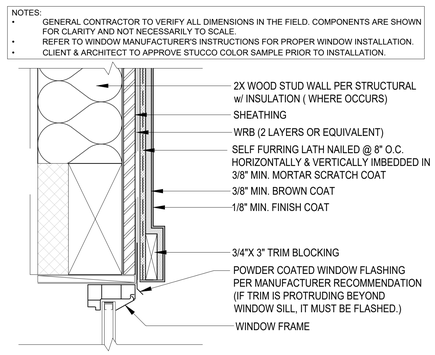
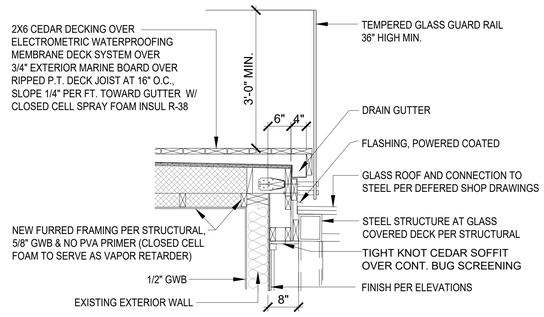
- REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.
- CLIENT & ARCHITECT TO APPROVE STUCCO COLOR SAMPLE PRIOR TO INSTALLATION.



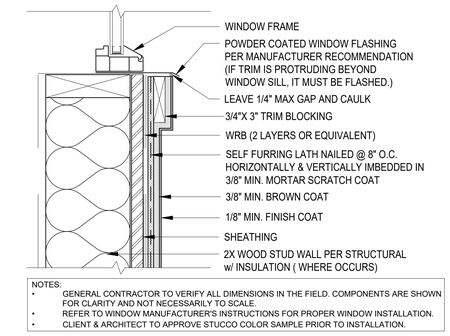
7 WINDOW HEAD @ STUCCO
SCALE: 3" = 1'-0"



3 MASTER BEDROOM DECK / GLASS COVERED DECK
SCALE: 3/4" = 1'-0"

14 XXX
SCALE: 1" = 1'-0"

10 XXX
SCALE: 1" = 1'-0"



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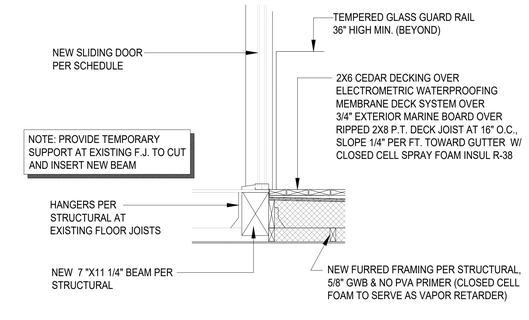
- REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.
- CLIENT & ARCHITECT TO APPROVE STUCCO COLOR SAMPLE PRIOR TO INSTALLATION.

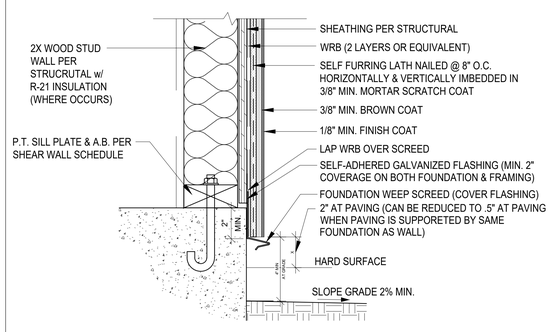
6 WINDOW SILL @ STUCCO
SCALE: 3 = 1'-0"



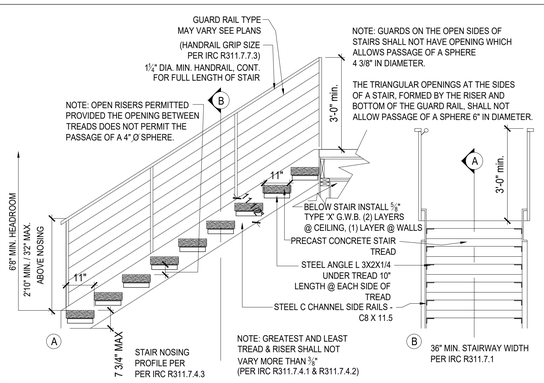
2 MASTER BEDROOM WALK OUT DECK
SCALE: 3/4" = 1'-0"

13 XXX
SCALE: 1" = 1'-0"

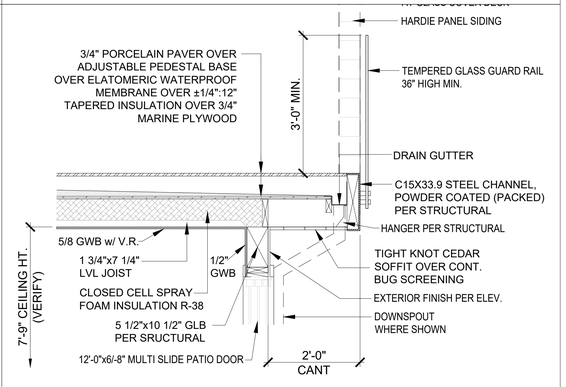
9 STUCCO @ FOUNDATION
SCALE: 3" = 1'-0"



5 STAIRS @ EXTERIOR DECK
SCALE: 1/2" = 1'-0"



1 1st FLOOR DECK & RAILING
SCALE: 3/4" = 1'-0"



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Owner Approval:

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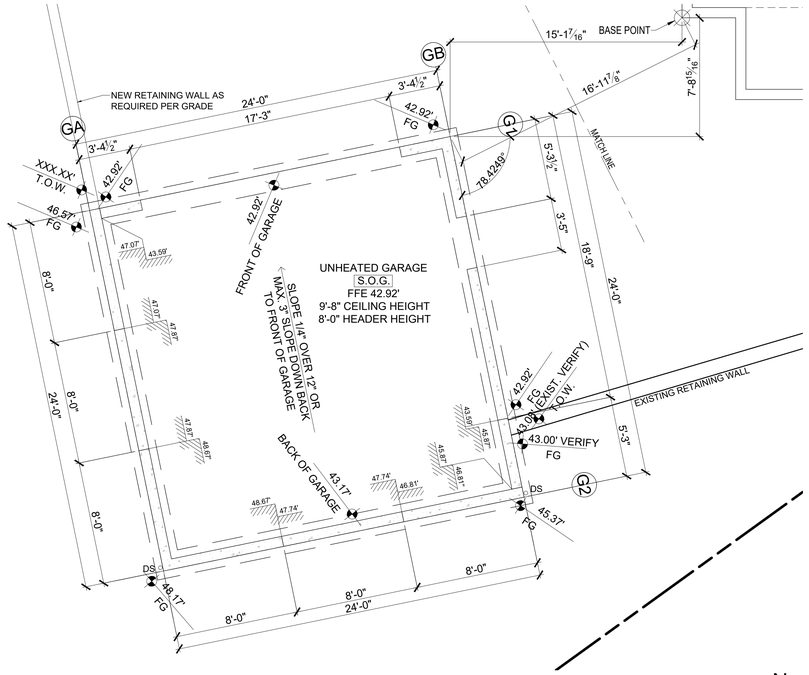
PLOT SCALE: 1:1

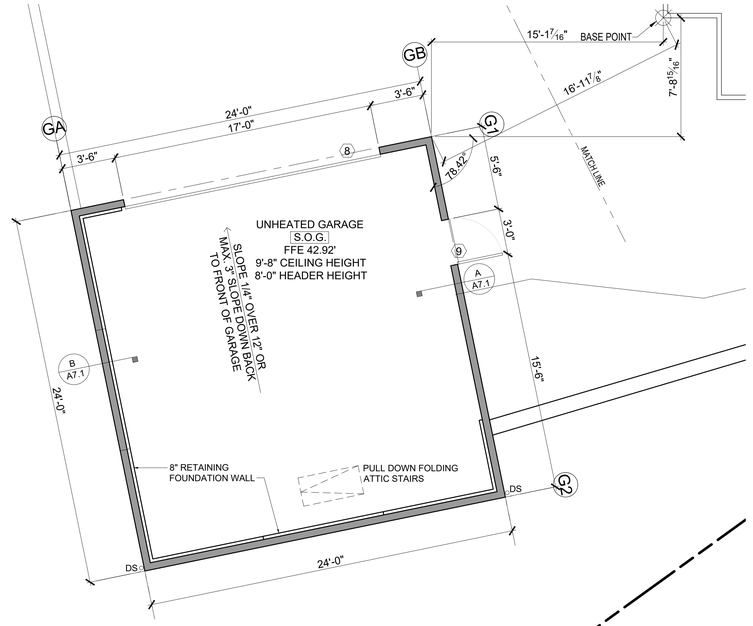
A6.0



DETACHED GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

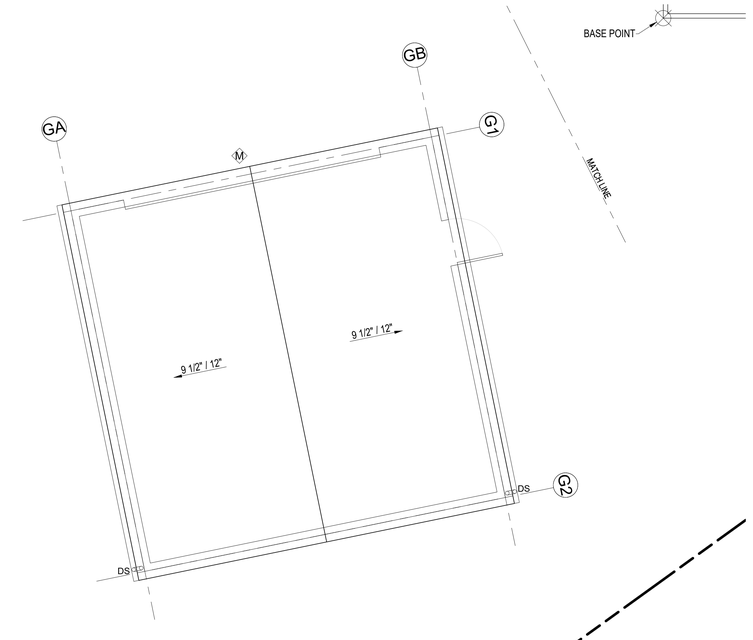
TRUE NORTH PROJECT NORTH



DETACHED GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH



DETACHED GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

TRUE NORTH PROJECT NORTH

ROOF - VENTILATION CALCULATION				
Detached Garage - Roof trusses				
Roof Area:	533.0	s.f.		
Ventilation Required:	533.0	s.f. x 144 s.i. / 300*=	255.8	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	28.0	l.f. Upper Ventilation =	126.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	30.0	l.f. Eave Edge Ventilation =	135.0	
Total Ventilation Provided	261.0	s.i. IS GREATER THAN	255.8	s.i. Req'd

FLOOR PLAN NOTES

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES. REFER TO SHEET A4.0 WINDOW AND DOOR SIZES.
4. DOOR JAMB 4.5" U.N.O.
5. SEE ELEVATIONS SHEETS A7.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
7. EXTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C., U.N.O.
8. INSTALL SIMPSON CONC. TO WOOD HOLDOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
9. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
10. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.

SYMBOL LEGEND

- SD — SMOKE DETECTOR
- CO — CARBON MONOXIDE DETECTOR
- 9 — DOORS
- C — WINDOWS
- 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

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PARCEL # 082405-9027

DRAWING NAME:

DETACHED GARAGE CONSTRUCTION PLAN

Drawn By: JMG,RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

APPROVED FOR CONSTRUCTION:

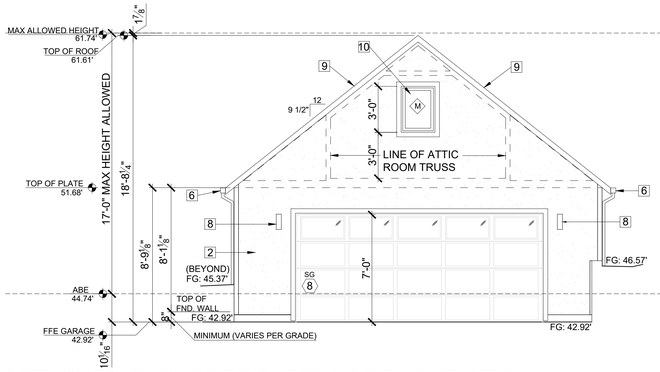
PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A7.0

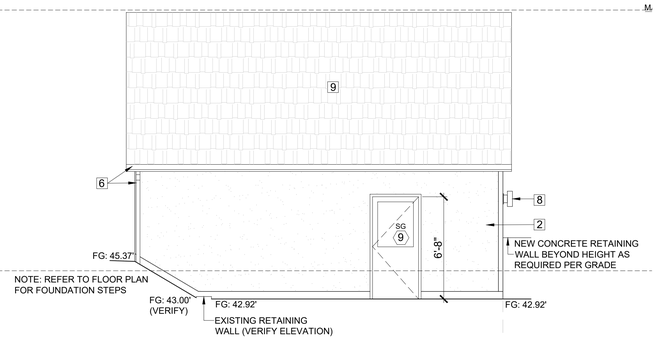
ELEVATIONS NOTES & KEY NOTES:

1. VERIFY SHEAR WALL NAILING & HOLDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
5. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
6. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
7. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
8. LIGHTING AT EXTERIOR DOORS, TYP.
9. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
10. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.



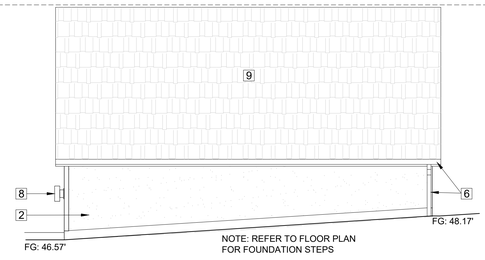
DETACHED GARAGE PROJECT NORTH ELEVATION

SCALE: 1/4" = 1'-0"



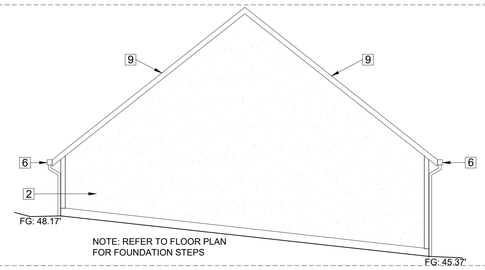
DETACHED GARAGE PROJECT EAST ELEVATION

SCALE: 1/4" = 1'-0"



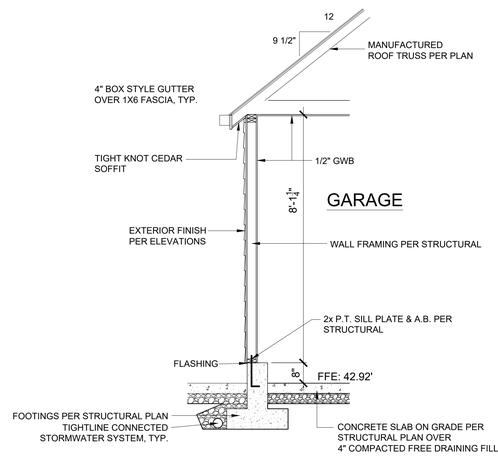
DETACHED GARAGE PROJECT WEST ELEVATION

SCALE: 1/4" = 1'-0"



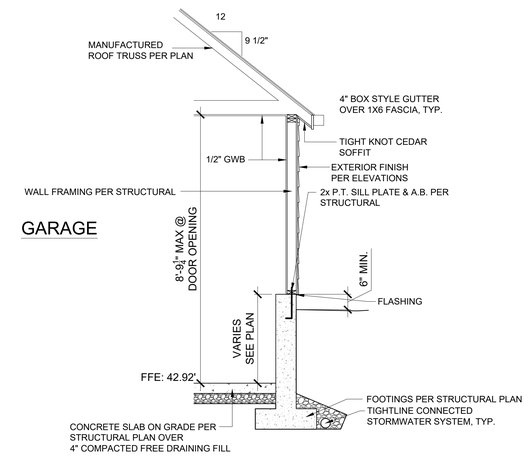
DETACHED GARAGE PROJECT SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



A DETACHED GARAGE WALL SECTION

SCALE: 1/2" = 1'-0" @ FULL HEIGHT FRAMED WALL



B DETACHED GARAGE WALL SECTION

SCALE: 1/2" = 1'-0" @ RETAINING WALL FOUNDAITON

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A7.1

GENERAL STRUCTURAL NOTES
(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS.)

A. GENERAL

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION FOR NEW CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION.

2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS.

3. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

4. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

4.1 ALL OPENINGS THROUGH EXISTING CONCRETE WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING AND/OR CORING WHEREVER POSSIBLE. SAW CUT TO TERMINATE AT CORING AT CORNERS OF OPENING. DO NOT OVERCUT CORNERS.

4.2 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.

4.3 SMALL ROUND OPENINGS THROUGH CONCRETE SHALL BE ACCOMPLISHED BY CORE DRILLING IF POSSIBLE.

4.4 WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWEL BARS SHALL BE DRILLED AND EPOXIED INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING AS NOTED ON PLANS.

5. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL EXTERIOR WALLS, EXISTING TOILET ROOM FLOORS AND WALLS, AREAS SHOWING WATER STAINS, AND ALL WOOD MEMBERS IN THE BASEMENT AND CRAWL SPACES. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS OF THE NEW CONSTRUCTION UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY BRACING AND SHORING OF THE EXISTING BUILDING(S) IN WHICH PORTIONS OF THE EXISTING STRUCTURE ARE TO BE REMOVED OR MODIFIED. THIS TEMPORARY BRACING AND SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION AND/OR STRUCTURAL MODIFICATIONS ARE COMPLETED. THE CONTRACTOR SHALL DESIGN, PROVIDE MATERIALS FOR AND INSTALL (AND REMOVE IF NECESSARY) SUCH TEMPORARY WORK.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK. STRUCTURAL DESIGN OF THE BUILDING IS BASED ON RESISTANCE TO DEAD LOADS, CODE SPECIFIED LATERAL LOADS, AND MAXIMUM EXPECTED SERVICE LOADS. NO CONSIDERATION HAS BEEN GIVEN TO LOADS WHICH WILL BE INDUCED BY ERECTION PROCEDURES. THE CONTRACTOR SHALL VERIFY, TO THE SATISFACTION OF HIM/HERSELF AND THE OWNER, THE ABILITY OF THE STRUCTURE TO RESIST ALL ERECTION LOADS WITHOUT EXCEEDING THE ALLOWABLE STRESSES OF THE MATERIALS USED. WHERE ERECTION LOADS WOULD OVERSTRESS THE STRUCTURE, THE CONTRACTOR SHALL SUBMIT DESIGN DOCUMENTS FOR TEMPORARY BRACING AND STRENGTHENING, INCLUDING FABRICATION AND ERECTION DRAWINGS, TO THE ARCHITECT FOR REVIEW. THESE DOCUMENTS SHALL BEAR THE SEAL AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON. THE CONTRACTOR SHALL PROVIDE, INSTALL AND IF NECESSARY REMOVE SUCH TEMPORARY WORK AS REQUIRED.

8. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

9. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

10. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

11. INSPECTIONS: INSPECTIONS OF THE WOOD FRAMING, THE STEEL REBAR AND WOOD FORMS FOR CONCRETE FOOTINGS & FOUNDATIONS, AND CONCRETE SLABS ARE REQUIRED PER IBC SECTION 110.3.

12. SHOP DRAWINGS FOR REINFORCING STEEL STRUCTURAL STEEL, GLUED LAMINATED MEMBERS, ENGINEERED LUMBER SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

ENGINEER OF RECORD SHALL REVIEW SHOP DRAWINGS FOR DESIGN INTENT ONLY. DIMENSIONS AND QUANTITIES ARE NOT GUARANTEED BY THE ENGINEER OF RECORD, AND THEREFORE, MUST BE VERIFIED BY THE GENERAL CONTRACTOR. DRAWINGS FOR COMPONENTS DESIGNED PRIMARILY BY OTHERS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND A COPY; REPRODUCIBLE WILL BE REVIEWED AND RETURNED. SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO REVIEW BY ENGINEER.

13. PRE-MANUFACTURED, PRE-ENGINEERED STRUCTURAL COMPONENTS SHALL BE DESIGNED BASED ON THE CRITERIA PRESENTED IN THE CONTRACT DOCUMENTS. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE, TEMPORARY AND PERMANENT BRACING AND ALL NECESSARY CONNECTIONS, INCLUDING CONNECTIONS TO THE PRIMARY STRUCTURE, NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE PRIMARY STRUCTURE. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED PER PARAGRAPH "A.14." OF THESE NOTES.

15. DEFERRED SUBMITTALS – THE FOLLOWING ITEMS ARE CONSIDERED TO BE DEFERRED SUBMITTALS UNDER SECTION 107.3.4.1 OF THE INTERNATIONAL BUILDING CODE AND MUST BE SUBMITTED TO THE ARCHITECT OR THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON
* PRE-ENGINEERED GLASS STAIR TREADS, GLASS GUARDRAILS AND GLASS ROOF.

B. DESIGN CRITERIA

1. DESIGN LOADS

ROOF LIVE LOAD	25 PSF (SNOW*, IS=1.0)
ROOF DEAD LOAD	15 PSF (20 PSF @ GLASS ROOF)
FLOOR LIVE LOAD (RESIDENTIAL)	40 PSF (REDUCIBLE)
FLOOR DEAD LOAD	15 PSF
DECK LIVE LOAD	60 PSF (REDUCIBLE)
DECK DEAD LOAD	25 PSF

WIND (ASCE 7–10)
V_{ULT} = 110 MPH, V_{ASD} = 85 MPH, (3 SEC GUST)
ENCLOSED BUILDING, EXPOSURE "C", IW=1.0, KZT = 1.0

EARTHQUAKE (ASCE 7–10)
SITE CLASS D
OCCUPANCY CATEGORY II (IE = 1.0)
SEISMIC DESIGN CATEGORY D
SS =1.382G, S1 = 0.531G
SDS=0.921G, SD1 = 0.531G

R=6.5, R = 1.3
V_{ULT} = C_SW = 0.129W

EQUIVALENT LATERAL FORCE PROCEDURE
LATERAL LOADS ARE RESISTED BY STRUCTURAL WOOD PANEL SHEAR WALLS & DIAPHRAGMS

ALLOWABLE SOIL PRESSURE** .... 1,500 PSF
LATERAL EARTH PRESSURE** .... 35 PCF ACTIVE\100 PSF SURCHARGE\7H SEISMIC
55 PCF AT-REST\14H SEISMIC
250 PSF PASSIVE
0.35 COEFFICIENT OF FRICITION

*FOR SNOW DRIFT CALCULATIONS, PG = 15 PSF
**SOILS REPORT REFERENCE: N/A

C. FOUNDATION

1. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR UNDER THE OBSERVATION AND DIRECTION OF THE GEOTECHNICAL ENGINEER.

2. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. MATERIAL TO BE COMPACTED TO 95% MINIMUM OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.

3. FOOTINGS MAY BE POURED IN NEAT EXCAVATIONS PROVIDED SIZE IS INCREASED 3" AT EACH INTERFACE WITH SOIL.

4. ALL FOOTING EXCAVATIONS SHALL BE HAND CLEANED PRIOR TO PLACING CONCRETE.

5. ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE REMOVED.

6. CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN EXCAVATIONS.

7. BACKFILL BEHIND ALL WALLS WITH WELL DRAINING, GRANULAR FILL MATERIAL, AND PROVIDE PERFORATED PIPE DRAINS AS DESCRIBED IN THE SOILS REPORT. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALL IS PROPERLY SUPPORTED BY THE FLOOR SLAB, OR TEMPORARY BRACING. ALL FOOTINGS SHALL BE CENTERED BELOW CENTERLINE OF COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

D. CONCRETE

1. ULTIMATE STRENGTH DESIGN PER INTERNATIONAL BUILDING CODE AND ACI 318-14.

2. CONCRETE SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS

2.1 CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF F'C = 3,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. EXPOSURE CLASS F1, S0, W0 & C0. DESIGN IS BASED ON F'C = 2,500 PSI.

3. THE MINIMUM AMOUNTS OF CEMENT AND MAXIMUM AMOUNTS OF WATER MAY BE CHANGED IF A CONCRETE DESIGN MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE CONCRETE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318, CHAPTERS 19 AND 26.

ALL CONCRETE EXPOSED TO FREEZING TEMPERATURES WHILE CURING AND ALL CONCRETE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ACI 318. TOTAL AIR CONTENT SHALL BE 6% IN ACCORDANCE WITH TABLE 19.3.3.1.

NO ADMIXTURES, OTHER THAN FOR AIR-ENTRAINMENT AS NOTED ABOVE, SHALL BE USED WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.

4. REINFORCING

REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. REINFORCEMENT FOR COLUMNS, WALLS, WALL TO FOOTING DOWELS, AND WOOD SHEAR WALL HOLD DOWNS TO BE A706 UNLESS CERTIFIED MILL CERTIFICATES CONFORMING TO ACI 318 20.2.2.5 ARE PROVIDED.

WELDED WIRE REINFORCEMENT: ASTM A82 AND ASTM A185, SPLICE WITH AT LEAST ONE FULL MESH. PLACE AT MID-DEPTH, OR SLIGHTLY ABOVE, OF SLAB. MATERIAL TO BE SUPPLIED IN FLAT SHEETS.

5. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318 (LATEST EDITION). LAP ALL CONTINUOUS REINFORCEMENT PER NOTE D.6. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS. LAP CORNER BARS PER NOTE D.6. LAP ADJACENT MATS OF WELDED WIRE REINFORCEMENT A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

6. REINFORCING STEEL LAPS AND EMBEDMENT SHALL BE AS NOTED BELOW, UNLESS NOTED OTHERWISE:

DEVELOPMENT LENGTH – COMPRESSION	20 BAR DIAM. – 24" MINIMUM
DEVELOPMENT LENGTH – TENSION	48 BAR DIAM. – (#11 BAR – 54 BAR DIA.)
DEVELOPMENT LENGTH – TENSION, TOP BAR*	BAR DIAM. – (#11 BAR – 70 BAR DIA.)
LAP SPLICE LENGTH – COMPRESSION	DIAM. – 24" MINIMUM
LAP SPLICE LENGTH – TENSION	64 BAR DIAM. – (#11 BAR – 70 BAR DIAM.)
LAP SPLICE LENGTH – TENSION, TOP BAR	80 BAR DIAM. – (#11 BAR – 90 BAR DIAM.)

*TOP BARS ARE HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.

ALL HOOKS SHALL BE "STANDARD" IN ACCORDANCE WITH ACI 318. REINFORCING SHALL NOT BE TACK WELDED. DO NOT WELD GRADE 60 REINFORCING.

7. HIGH STRENGTH THREADED RODS (STRESSED AND NON-STRESSED) SHALL BE DYWIDAG THREADBARS WITH APPROPRIATE ANCHORAGE PLATES, NUTS, AND COUPLERS AS MANUFACTURED BY DICKERHOFF AND WINDMANN, INC., IN CONFORMANCE WITH ASTM A722 (FPU = 150,000).

8. MECHANICAL SPLICING OF REINFORCING BARS, WHERE INDICATED ON THE DRAWINGS, SHALL BE BY AN INTERNATIONAL CODE COUNSEL (ICC) APPROVED SYSTEM (SUCH AS LENTON, FOX-HOWLETT, ETC.) AND SHALL DEVELOP 125% OF THE SPECIFIED YIELD STRENGTH OF THE BARS. SPLICE LOCATIONS OF ALTERNATE BARS SHALL BE OFFSET BY A DISTANCE WHICH CONFORMS TO THE ICC REPORT OF THE SPLICE USED.

9. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE	3"
FORMED SURFACES EXPOSED TO EARTH (I.E. WALLS BELOW GROUND) OR WEATHER	
(#6 BARS OR LARGER)	2"
(#5 BARS OR SMALLER)	1-1/2"
COLUMN TIES OR SPIRALS AND BEAM STIRRUPS	1-1/2"
JOISTS, SLABS AND WALLS (INTERIOR FACE)	3/4"

10. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT SHALL BE NON-SHRINK, CEMENT-BASED AND HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF F'C = 5000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C109.

11. ADHESIVE ANCHOR SYSTEM SHALL BE SET-XP OR SET-3G EPOXY BY SIMPSON STRONG-TIE, HIT-HY 200-A OR HIT-RE 500 V3 BY HILTI, AC200+ BY DEWALT, OR APPROVED EQUAL.

12. ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (SEE WOOD SECTION).

E. STRUCTURAL STEEL

1. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE AISC 360 "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION, PLUS ALL REFERENCED CODES.

2. ALL "W" (WIDE FLANGE BEAM AND COLUMN) SHAPES SHALL CONFORM TO ASTM A992. HP SHAPES SHALL CONFORM TO ASTM A572, FY = 50 KSI. PLATES, BARS AND OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, FY = 36 KSI, UNLESS CALLED OUT OTHERWISE ON PLAN. STEEL PIPE SHALL BE SCHEDULE 40 CONFORMING TO ASTM A53, TYPE E OR S, GRADE B, FY = 35 KSI. RECTANGULAR HSS SHALL CONFORM TO ASTM A500, GRADE B, FY = 46 KSI, ROUND HSS SHALL CONFORM TO ASTM A500, GRADE B, FY = 42 KSI.

3. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND HAVE A WELDED HEAD. EMBED ANCHOR BOLTS A MINIMUM OF 7" INTO CONCRETE.

5. ALL CONNECTION BOLTS AT STEEL/STEEL CONNECTIONS SHALL BE ASTM A325 OR ASTM A490 AND SHALL BE INSTALLED, TIGHTENED, AND INSPECTED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A 490 BOLTS." THE CRITERIA FOR SNUG-TIGHT CONNECTIONS SHALL APPLY TO ALL CONNECTIONS UNLESS SPECIFICALLY NOTED AS SLIP-CRITICAL ON THE STRUCTURAL DRAWINGS. WHERE CONNECTIONS ARE NOTED AS SLIP-CRITICAL, THE CONTRACTOR SHALL INSTALL PER CRITERIA FOR SLIP-CRITICAL CONNECTIONS. SLIP-CRITICAL CONNECTIONS SHALL USE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. ALL BOLT HOLES SHALL BE STANDARD SIZE, UNLESS NOTED OTHERWISE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE SELECTION OF OPTIONAL DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL ERECTION AIDS AND JOINT PREPARATIONS THAT INCLUDE, BUT ARE NOT LIMITED TO: ERECTION ANGLES, LIFT HOLES, AND OTHER AIDS; WELDING PROCEDURES; REQUIRED ROOT OPENINGS; ROOT FACE DIMENSIONS; GROOVE ANGLES; BACKING BARS; COPES; SURFACE ROUGHNESS VALUES; AND TAPERS OF UNEQUAL PARTS.

6. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS BY SIMPSON STRONG-TIE, "KWIK BOLT TZ" WEDGE ANCHORS BY HILTI, POWER-STUD+ SD2, OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT AND INSERT INSTALLATION. SUBMIT MANUFACTURER'S DATA SHEETS AND ICC REPORTS FOR ENGINEER'S REVIEW.

7. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. WELDS, UNLESS OTHERWISE NOTED, SHALL BE 3/16" CONTINUOUS FILLET WELDS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. WELDING OF REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTION.

ALL WELDS SHALL BE VISUALLY INSPECTED AT THE SITE BY A QUALIFIED INSPECTOR.

ALL COMPLETE PENETRATION WELDS SHALL BE ULTRASONICALLY TESTED AT THE PLANT OR SITE BY A QUALIFIED INSPECTOR.

FIELD WELD ARROWS ARE SHOWN ONLY WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.

F. CARPENTRY

1. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI STANDARD A190.1. EACH MEMBER SHALL BEAR AN AITC OR APA EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, FB = 2,400 PSI, FV = 240 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, FB = 2400 PSI, FV = 240 PSI. CAMBER ALL GLULAM BEAMS TO 2,000' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

2. FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

MEMBER	SIZE	SPECIES GRADE	MIN. BASIC DESIGN STRESS
JOISTS AND RAFTERS:	2X, 3X 4X	HEM.FIR #2 HEM.FIR #2	FB = 850 PSI FB = 850 PSI
BEAMS AND STRINGERS:	6X AND LARGER	DOUG.FIR #1	FB = 1350 PSI
POSTS AND TIMBERS:	6X6, 6X8	DOUG.FIR #1	FC = 1000 PSI FB = 1200 PSI
PLATES AT SHEAR WALLS AND BEARING WALLS:			
STUDS, PLATES, & MISC. LIGHT FRAMING:		HEM.FIR #2	FB = 850 PSI

ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED SURFACE-DRY AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NOT MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED SURFACE-GREEN AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

3. MANUFACTURED LUMBER SHALL BE AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL. REQUESTS FOR APPROVAL AS EQUAL WILL REQUIRE SUBMITTAL OF ICC REPORT EQUIVALENT TO ESR-1387 FOR LAMINATED STRAND LUMBER (LSL), LAMINATED VENEER LUMBER (LVL), OR PARALLEL STRAND LUMBER (PSL). THE MINIMUM ALLOWABLE DESIGN VALUES ARE AS FOLLOWS:

LSL – FB = 2,250; FV = 400 PSI; E = 1,500,000 PSI
LVL – FB = 2,600; FV = 285 PSI; E = 1,800,000 PSI
PSL – FB = 2,900; FV = 290 PSI; E = 2,000,000 PSI

4. SHEATHING SHALL BE APA PERFORMANCE RATED PANELS PER APA "PLYWOOD DESIGN SPECIFICATION", INCLUDING APPLICABLE SUPPLEMENTS, UNLESS NOTED OTHERWISE. PLYWOOD OR ORIENTED-STRAND BOARD (OSB) PANELS SHALL BE GRADE CD AND ALSO CONFORM TO DOC PS-1 & PS-2. ALL PANELS SHALL BE IDENTIFIED AS EXPOSURE 1 UNLESS NOTED OTHERWISE. PANEL RATING TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:

ROOF: 19/32" (OR 5/8") THICK, 40/20
WALLS: 15/32" THICK, 32/16, OR 1/2" THICK, 24/0
FLOORS: 23/32" (OR 3/4") THICK, TONGUE & GROOVE, (48/24)

UNLESS NOTED OTHERWISE ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6"OC TO FRAMED PANEL EDGES AND OVER STUD WALLS SHOWN ON PLANS AND @ 12"OC (10"OC AT FLOORS) TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED SHEATHING EDGE CLIPS @ 16"OC AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS AND EDGE CLIPS. PROVIDE SOLID BLOCKING AT ALL EDGES ONLY WHERE NOTED ON PLANS. TOENAIL BLOCKING TO SUPPORTS WITH 16D NAILS, UNLESS NOTED OTHERWISE.

UNLESS NOTED OTHERWISE ON THE PLANS, WALL SHEATHING MAY BE LAID UP HORIZONTALLY OR VERTICALLY, UNSUPPORTED EDGES SHALL BE BLOCKED AND ALL EDGES SHALL BE NAILED WITH 8D @ 6"OC, NAIL WITH 8D @ 12"OC AT INTERMEDIATE SUPPORTS. NAIL SHEAR WALL SHEATHING TO ALL HOLDOWN STUDS USING EDGE NAIL SPACING WHEN HOLDOWN STUD DOES NOT OCCUR AT PANEL EDGES.

SHEATHING NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING.

5. INTERIOR WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH SODIUM BORATE (SBX). WOOD MEMBERS EXPOSED TO WEATHER (UNPAINTED) OR IN DIRECT CONTACT WITH SOIL SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUATERNARY (ACQ). NOTE THAT ACQ IS EXTREMELY CORROSIVE TO METALS. SBX IS NONTOXIC TO THE ENVIRONMENT. PROVIDE TWO LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC., AND CONCRETE OR MASONRY. ALL METAL CONNECTORS IN CONTACT WITH "ACQ" PRESSURE-TREATED LUMBER OR FIRE-RETARDANT-TREATED LUMBER SHALL BE TYPE 304 OR 316 STAINLESS STEEL. THIS INCLUDES WASHERS, SCREWS, NAILS, HANGERS, AND ANY OTHER MISCELLANEOUS LT. GAGE METAL CONNECTORS. WHERE ACQ LUMBER IS MISTAKENLY USED OR FOR FIRE-RETARDANT-TREATED LUMBER USED IN INTERIOR CONDITIONS, ASTM A 653, TYPE G185 ("HOT-DIP" GALVANIZED TO 1.85 OUNCES PER SQUARE FOOT) METAL CONNECTORS MAY BE USED IN LIEU OF STAINLESS STEEL. METAL CONNECTORS 1/2" THICK OR GREATER NEED NOT BE GALVANIZED FOR INTERIOR USE, NOR DO THEY NEED TO BE STAINLESS STEEL FOR EXTERIOR USE. METAL CONNECTORS 1/2" THICK PLUS MUST BE GALVANIZED FOR EXTERIOR USE, UNLESS SPECIFIED OTHERWISE BY THE ARCHITECT.

6. WOOD FASTENER NOTES – THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

6.1 NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF CONNECTORS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, DUBLIN, CALIFORNIA. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. SUBMIT MANUFACTURER'S CATALOG AND ICC REPORTS TO ARCHITECT AND ENGINEER FOR REVIEW WHEN REQUESTING SUBSTITUTIONS. ALL SPECIFIED FASTENERS MUST BE USED AND PROPER INSTALLATION PROCEDURES MUST BE OBSERVED IN ORDER TO OBTAIN ICC APPROVED LOAD CAPACITIES. VERIFY THAT THE DIMENSIONS OF THE SUPPORTING MEMBER ARE SUFFICIENT TO RECEIVE THE SPECIFIED FASTENERS.

6.2 NAILS SHALL BE MANUFACTURED IN CANADA OR THE UNITED STATES IN SIZES AND TYPES AS FOLLOWS, UNLESS NOTED OTHERWISE:

PNEUMATIC NAILING – PLAIN SHANK, COATED OR GALVANIZED
8D = .131 DIAMETER X 2-1/2" MINIMUM LENGTH
10D = .148 DIAMETER X 3" MINIMUM LENGTH
16D = .162 DIAMETER X 3-1/4" MINIMUM LENGTH
20D = .192 DIAMETER X 4" MINIMUM LENGTH

HAND NAILING – SINKERS, COATED
8D = 11-1/2 GAGE X 2-3/8"
10D = 11 GAGE X 2-7/8"
16D = 9 GAGE X 3-1/4"

7. WOOD FRAMING NOTES – THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

7.1 ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

7.2 WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16"OC AT INTERIOR WALLS AND 2X6 STUDS @ 16"OC AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. UNLESS NOTED OTHERWISE A (2) 2X8 HEADER SHALL BE PROVIDED OVER ALL OPENINGS IN 2X4 STUD WALLS AND A (3) 2X8 HEADER OVER ALL OPENINGS IN 2X6 WALLS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORT BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 8'-0" IN HEIGHT.

ALL STUD WALLS SHOWN ON STRUCTURAL DRAWINGS SHALL HAVE THEIR LOWER PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16D NAILS AT 12"OC STAGGERED OR BOLTED TO CONCRETE OR MASONRY WITH 5/8" DIAMETER BY 10" LONG ANCHOR BOLTS, EMBEDDED 7" AND SPACED AT 4'-0"OC MAXIMUM, UNLESS NOTED OTHERWISE (UNO) ON PLANS. SHEAR WALLS REQUIRE MINIMUM 3"X3"X1/4" SQUARE PLATE WASHERS AT ALL ANCHOR BOLTS. REFER TO THE STRUCTURAL PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING.

7.3 FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE BRIDGING @ 8'-0"OC AND SOLID BLOCKING AT ALL BEARING POINTS. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

TOENAIL JOISTS TO BEARING SUPPORTS WITH 16D NAILS. UNLESS NOTED OTHERWISE, ATTACH JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON "LU" SERIES METAL JOIST HANGERS TO SUIT JOIST SIZE. ALL DOUBLE JOISTS, BEAMS, AND SLOPED AND/OR SKEWED JOISTS SHALL BE CONNECTED TO FLUSH MEMBERS WITH U-SERIES JOIST HANGERS UNLESS NOTED OTHERWISE. SKEW AND SLOPE ALL CONNECTORS AS REQUIRED. FACE-NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16D SPIKES @ 24"OC STAGGERED.

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PROJECT

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REVISIONS

NO.	DATE	
	11-4-20	PERMIT

11/4/20 DATE	20-129 JOB #
AM DESIGN	FPP CHECKED
LMS DRAWN	AS NOTED SCALE

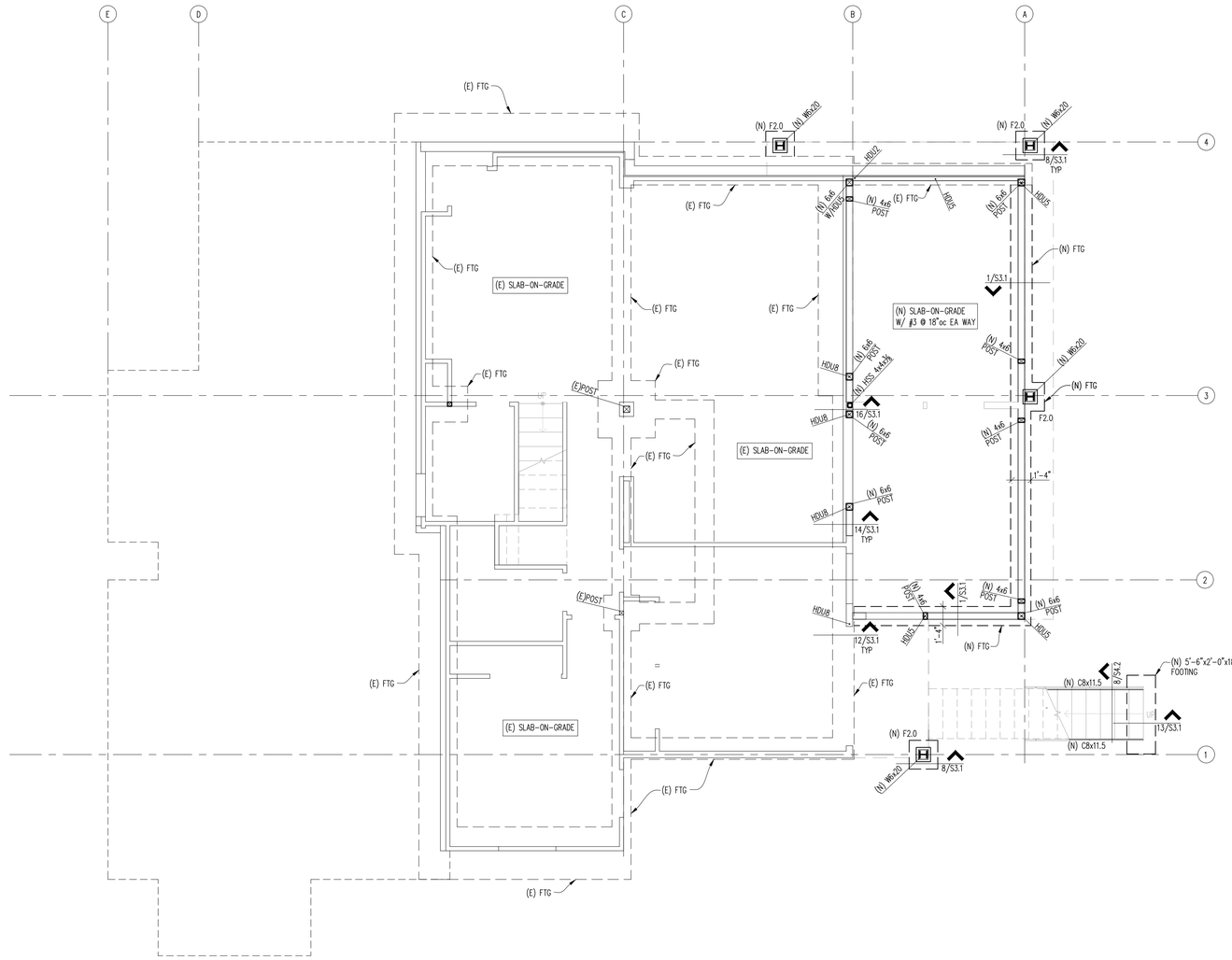
SDCI STAMP

SHEET TITLE

GENERAL STRUCTURAL NOTES

SHEET NO.

S1.1



NOTES:
1. F.X.X DENOTES FOOTING SIZE. FOOTING SCHEDULE:
   F2.0 IS 2'-0"x2'-0"x12" DEEP W/ (3) #5 EA WAY BOT
2. SEE ARCH FOR DIMENSIONS.
3. SEE ARCH FOR INSULATION BELOW SLAB-ON-GRADE, IF APPLICABLE.
4. WALLS SHOWN ARE BASEMENT LEVEL WALLS.
5. SEE SHEETS S3.X FOR CONCRETE DETAILS.
5. ⊱ INDICATES HOLDOWN TYPE, SEE 10/S4.1 FOR HOLDOWN SCHEDULE.
6. SEE SHEET S2.2 FOR BASEMENT SHEARWALL LOCATIONS.

TRUE NORTH PROJECT NORTH

FOUNDATION PLAN ¼"=1'-0" 3

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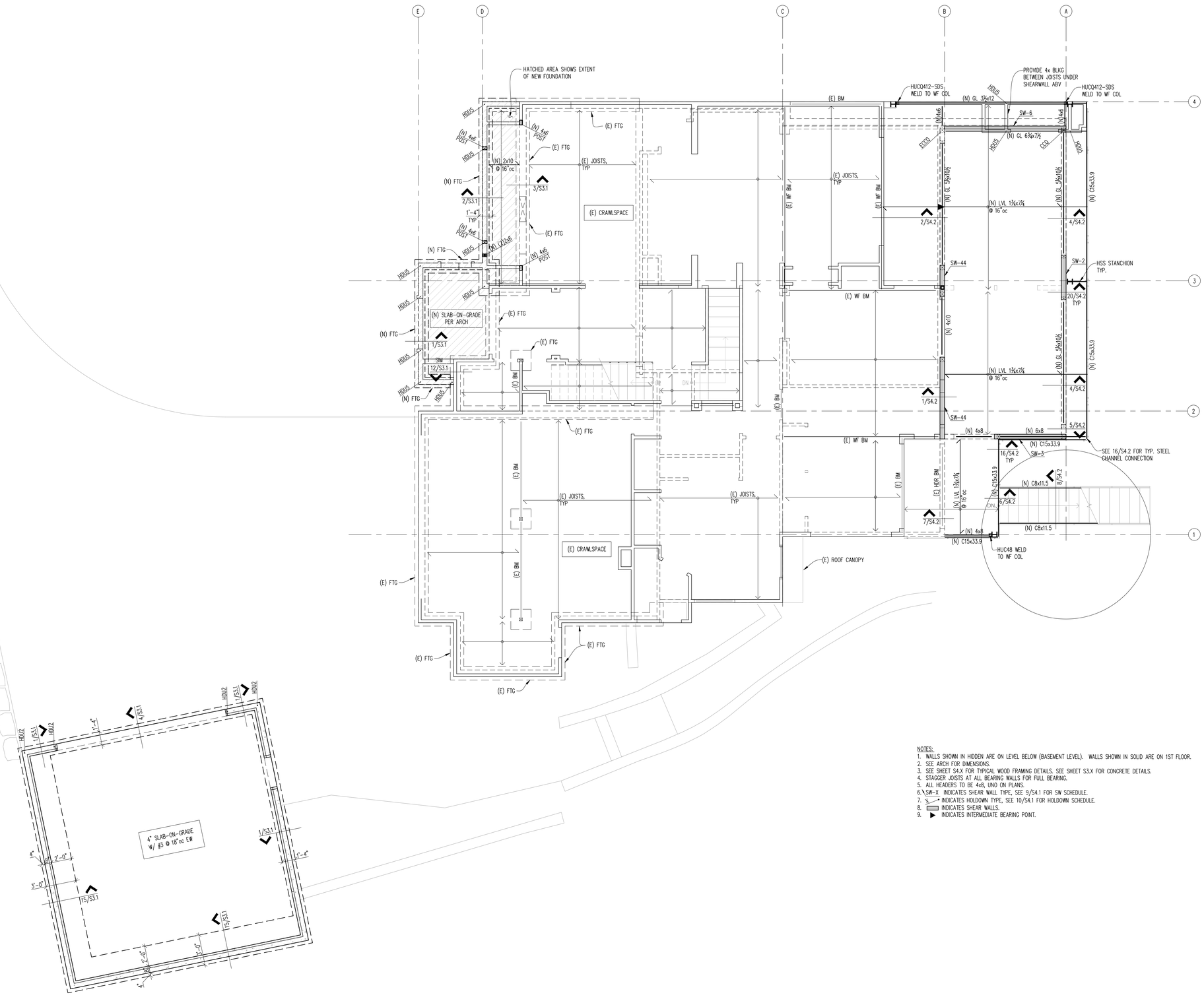
SHEET TITLE

FOUNDATION PLAN

SHEET NO.

S2.1



NOTES:
1. WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (BASEMENT LEVEL). WALLS SHOWN IN SOLID ARE ON 1ST FLOOR.
2. SEE ARCH FOR DIMENSIONS.
3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS. SEE SHEET S3.X FOR CONCRETE DETAILS.
4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
7. ↘ INDICATES HOLDOWN TYPE, SEE 10/S4.1 FOR HOLDOWN SCHEDULE.
8. ▭ INDICATES SHEAR WALLS.
9. ▶ INDICATES INTERMEDIATE BEARING POINT.

TRUE NORTH

PROJECT NORTH

1ST FLOOR FRAMING PLAN

1/4"=1'-0"

3

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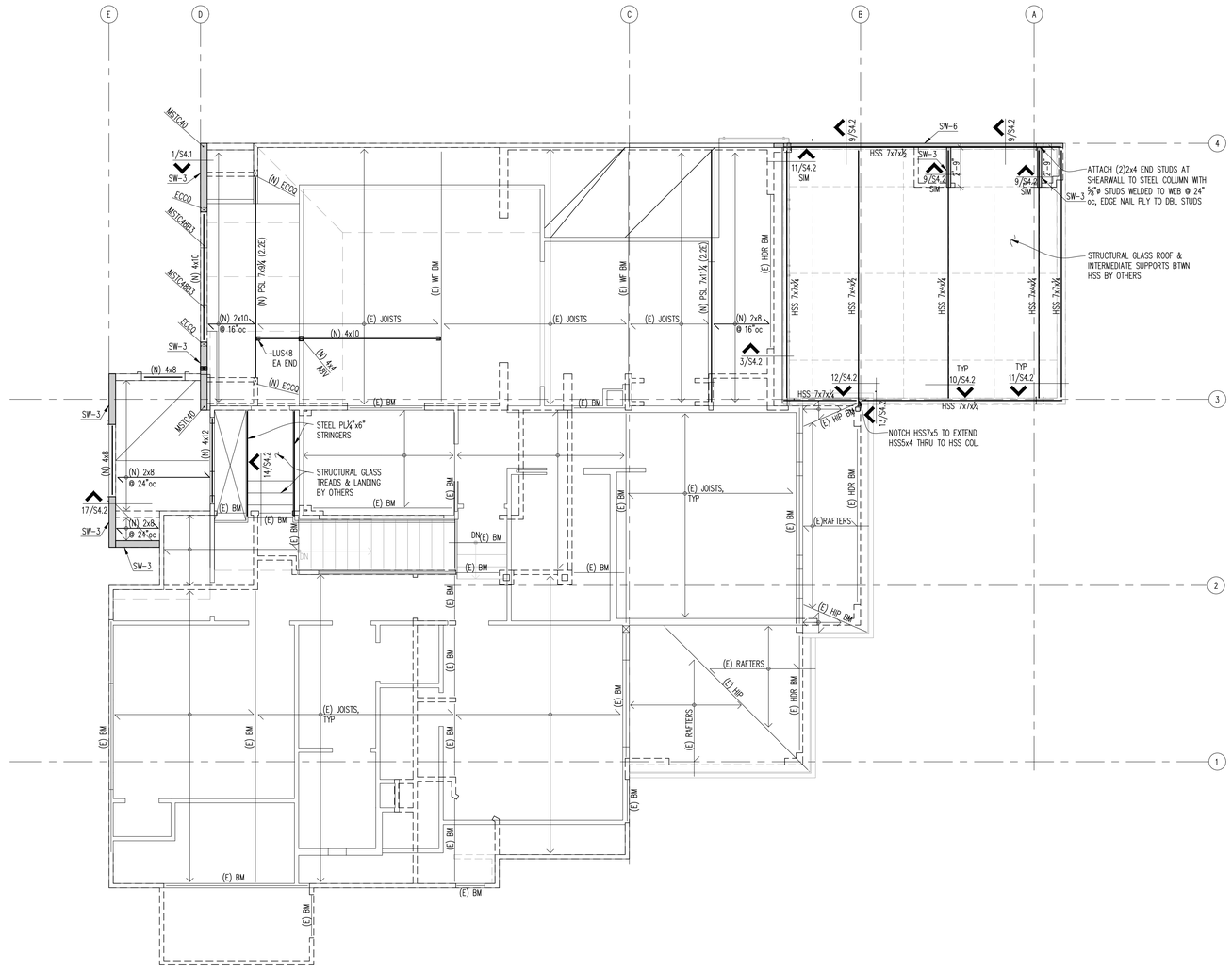
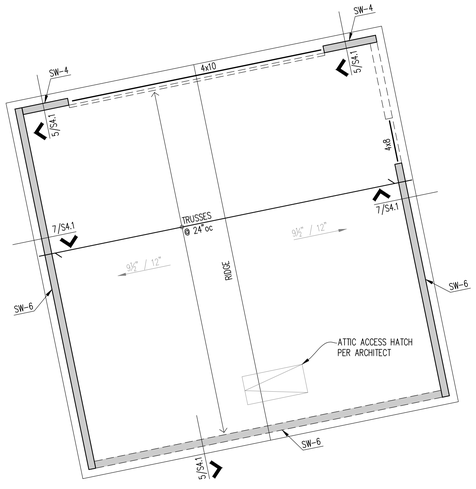
SHEET TITLE

1ST FLOOR FRAMING PLAN

SHEET NO.

S2.2





NOTES:
1. WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (FIRST FLOOR). WALLS SHOWN IN SOLID ARE ON SECOND FLOOR.
2. SEE ARCH FOR DIMENSIONS.
3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
7. INDICATES HOLDOWN TYPE, SEE 10/S4.1 FOR HOLDOWN SCHEDULE.
8. INDICATES SHEAR WALLS.
9. INDICATES INTERMEDIATE BEARING POINT.

TRUE NORTH

PROJECT NORTH

2ND FLOOR FRAMING PLAN ¼"=1'-0" 3

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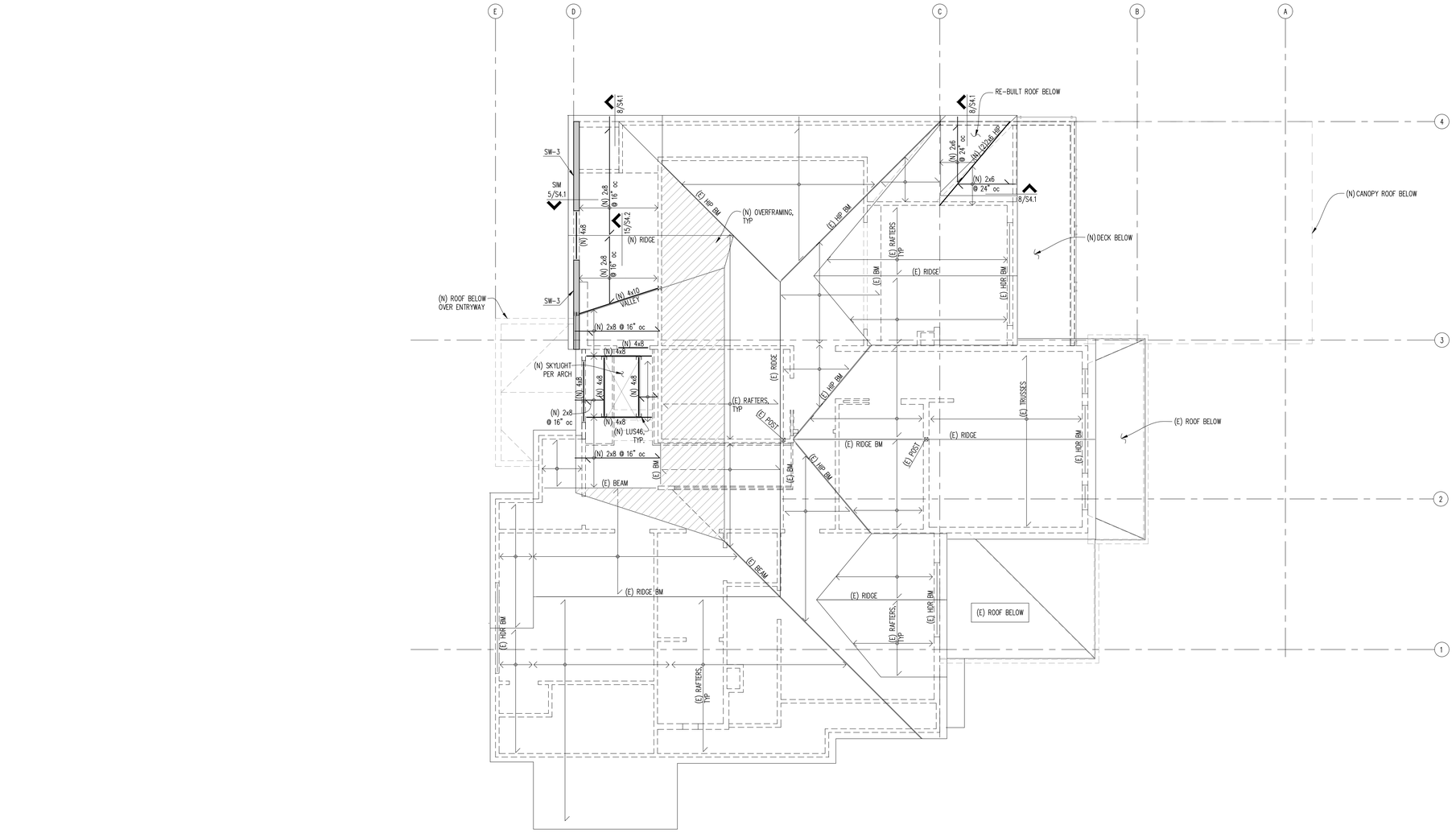
SHEET TITLE

2ND FLOOR FRAMING PLAN

SHEET NO.

S2.3



NOTES:
1. WALLS SHOWN ARE ON LEVEL BELOW (SECOND FLOOR).
2. SEE ARCH FOR DIMENSIONS.
3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
7. INDICATES SHEAR WALLS.
8. ▶ INDICATES INTERMEDIATE BEARING POINT.

TRUE NORTH

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ROOF FRAMING PLAN

¼"=1'-0" | 3

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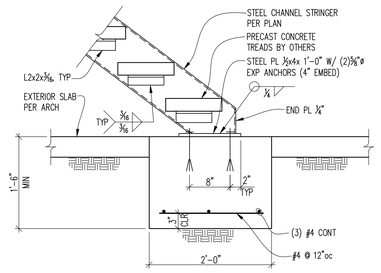
SHEET TITLE

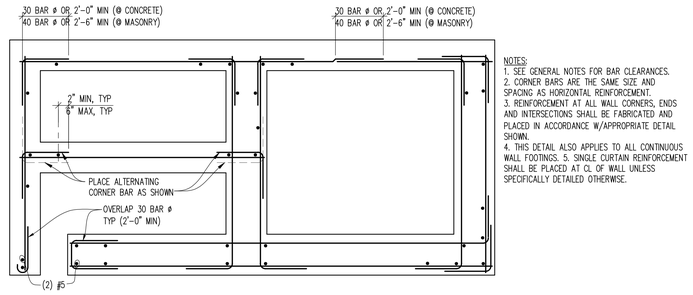
ROOF FRAMING PLAN

SHEET NO.

S2.4

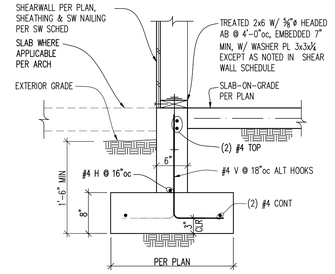


17 | DETAIL 1"=1'-0" | 13

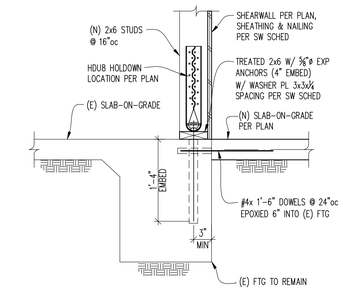


NOTES:
1. SEE GENERAL NOTES FOR BAR CLEARANCES.
2. CORNER BARS ARE THE SAME SIZE AND SPACING AS HORIZONTAL REINFORCEMENT.
3. REINFORCEMENT AT ALL WALL CORNERS, ENDS AND INTERSECTIONS SHALL BE FABRICATED AND PLACED IN ACCORDANCE W/APPROPRIATE DETAIL SHOWN.
4. THIS DETAIL ALSO APPLIES TO ALL CONTINUOUS WALL FOOTINGS. 5. SINGLE CURTAIN REINFORCEMENT SHALL BE PLACED AT CL OF WALL UNLESS SPECIFICALLY DETAILED OTHERWISE.

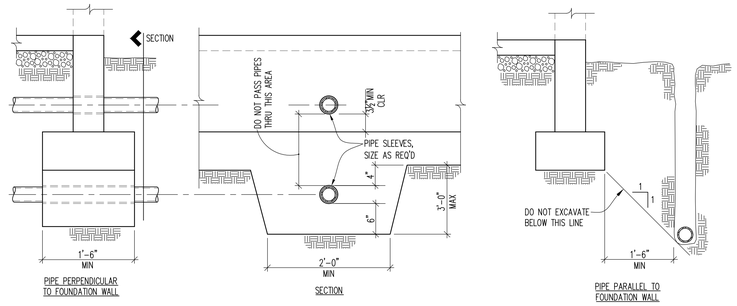
TYPICAL HORIZONTAL REINFORCING PLACING DETAIL FOR CONCRETE | 5



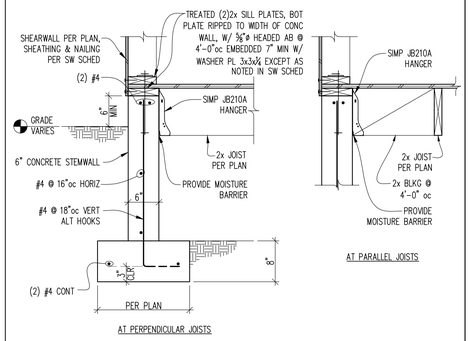
EXTERIOR WALL FOOTING | 1



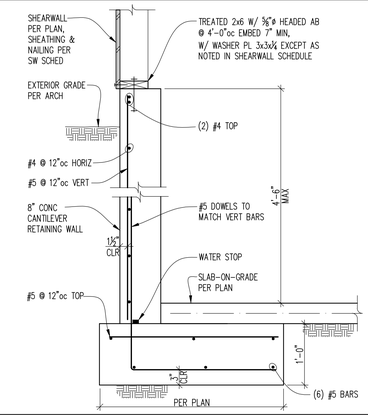
18 | DETAIL 1"=1'-0" | 14



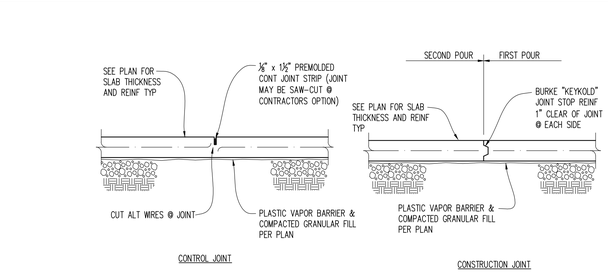
PIPE AND TRENCH LOCATIONS | 6



EXTERIOR WALL FOOTING | 2

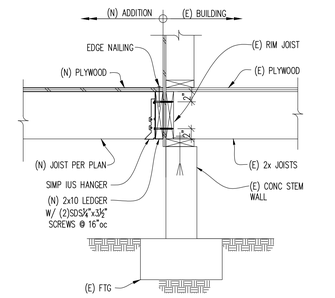


19 | DETAIL 1"=1'-0" | 15

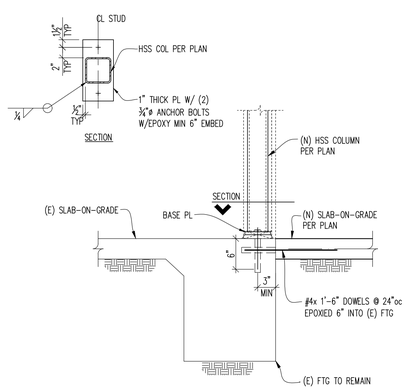


NOTE:
PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLAB ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 400 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY ARCHITECT.

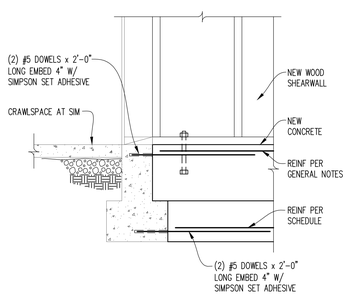
TYPICAL SLAB JOINTS | 7



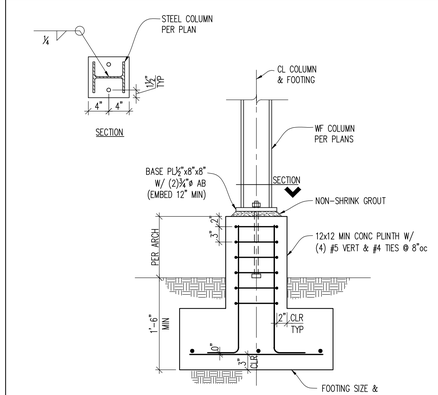
FOOTING DETAIL | 3



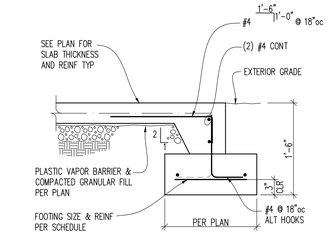
20 | DETAIL 1"=1'-0" | 16



EXISTING-TO-NEW CONC FTG ATTACHMENT | 12



TYPICAL WF COLUMN & FOOTING | 8



TYPICAL SLAB EDGE | 4

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SHEET TITLE

CONCRETE DETAILS

SHEET NO.

S3.1

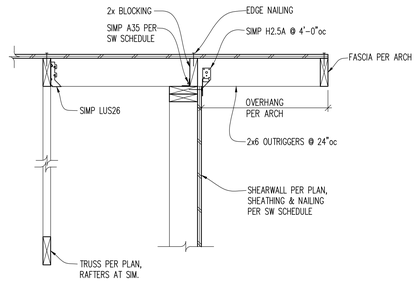
SHEAR WALL SCHEDULE (HEM FIR LUMBER)

MARK	SHEATHING (NOTES 1,2,3,4,9)		RIM/BLKG TO WALL TOP PLATE (NOTE 6)	WALL BOTTOM PLATE TO RIM/BLKG ATTACHMENT * (NOTE 6,13)		5/8"ø ANCHOR BOLTS TO CONCRETE (NOTES 9,10)	MIN PANEL EDGE STUDS & BLOCKING (NOTE 8)	FASTENING ALTERNATIVE (2)2x TOGETHER (NOTE 14)		ALLOWABLE SHEAR CAPACITY
	APPLICATION	PANEL EDGE NAIL SPACING (NOTE 5)		16d NAILS	SDWS 0.220"x5"			10d NAILS	SDS ¼"x3"	(PLF)(NOTE 8)
SW-6	ONE SIDE	8d @ 6"oc	LTP4 @ 24"oc	11"oc	21"oc	48"oc	2x	N/A	N/A	242
SW-4	ONE SIDE	8d @ 4"oc	LTP4 @ 22"oc	7"oc	15"oc	46"oc	3x	5½"oc	10"oc	353
SW-3	ONE SIDE	8d @ 3"oc	LTP4 @ 16"oc	5"oc	11"oc	36"oc	3x	4"oc	8"oc	456
SW-2	ONE SIDE	8d @ 2"oc	LTP4 @ 13"oc	4"oc	8"oc	27"oc	3x	(2) @ 6½"oc	6½"oc	595
SW-44	BOTH SIDES (NOTE 7)	8d @ 4"oc	LTP4 @ 11"oc	N/A	7"oc	23"oc	3x	(2) @ 5½"oc	5½"oc	706
SW-33	BOTH SIDES (NOTE 7)	8d @ 3"oc	LTP4 @ 8"oc	N/A	7"oc **	18"oc	3x	(2) @ 4"oc	4"oc	912
SW-22	BOTH SIDES (NOTE 7)	8d @ 2"oc	LTP4 @ 6"oc	N/A	5½"oc **	13"oc	3x	(2) @ 3"oc ***	3"oc	1190

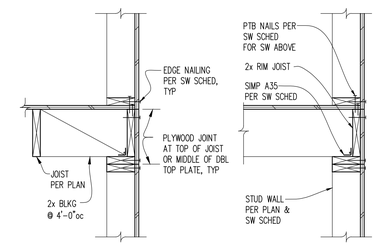
* A35 OR LTP4 CAN BE USED ALTERNATIVELY
** USE MIN 2x OF RIM BOARD AT THESE SHEARWALLS
*** FASTENERS SHALL BE STAGGERED

NOTES:
1. SHEATHING SHALL BE 15/32" OR ½" PLY, TYP UNO. OSB SHALL NOT BE SUBSTITUTED FOR PLYWOOD. SHEATHING SHALL HAVE A MINIMUM SPAN RATING OF 24/0.
2. SHEATHING SHALL BE APPLIED DIRECTLY TO FRAMING.
3. PROVIDE SOLID BLOCKING AT ALL SHEATHING PANEL EDGES.
4. PROVIDE 8d @ 12"oc AT ALL INTERMEDIATE SUPPORTS (FIELD NAIL), TYP UNO.
5. NAILS PER GENERAL STRUCTURAL NOTES.
6. LATERAL TIE PLATES OR WALL PLATE TO BLOCKING NAILING IS REQUIRED WHERE SHEATHING IS DISCONTINUOUS, i.e., WHERE ADJACENT SHEATHING EDGES ARE NOT NAILED TO THE SAME PIECE OF FRAMING. TOE NAILING IS NOT PERMITTED. LATERAL TIE PLATES MAY BE SUBSTITUTED FOR WALL PLATE TO BLOCKING NAILING. INSTALL LATERAL TIE PLATES OVER APA RATED SHEATHING PANELS. USE COMMON NAILS OR EQUIVALENT NAILS SUPPLIED BY CONNECTOR MANUFACTURER FOR LATERAL TIE PLATES. A35 FRAMING ANCHORS MAY BE SUBSTITUTED FOR LATERAL TIE PLATES AT SPACING SHOWN IN TABLE.
7. WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, STAGGER PLYWOOD JOINTS SO THAT JOINTS ON EACH SIDE OF THE WALL DO NOT OCCUR AT THE SAME STUD. PROVIDE 3x BLOCKING FOR ALL DOUBLE SHEATHED WALLS.
8. PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLANS. ENDS OF WALLS ARE DESIGNATED BY EXTERIOR OF BUILDING, CORRIDORS, OR DOORWAYS. PROVIDE HOLDOWNS PER PLANS AT EACH END OF WALL, UNO. PROVIDE EDGE NAILING TO STUD(S) GRIPPED BY HOLDOWN.
9. CRITERIA: 2012 IBC
   HEM FIR LUMBER
   2500 psi CONCRETE MINIMUM
   ASTM A307 ANCHOR BOLTS WITH 2¾" EDGE DISTANCE IN CONCRETE AND 7" MINIMUM EMBEDMENT
10. INSTALL 3x3x¼ PL WASHERS AT ALL ANCHOR BOLTS, BETWEEN THE NUT AND THE SILL PLATE. USE 4½"x4½"x¼" PL WASHERS WHERE 2x6 STUD WALLS ARE SHEATHED ON BOTH SIDES. ALL PLATE WASHERS SHALL EXTEND TO WITHIN ½" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING.
11. AT SHEARWALLS WHERE SHEATHING MAY EXTEND VERTICALLY TO OVERLAP WITH RIMBOARD/BLOCKING ABOVE, IT IS ACCEPTABLE TO NAIL SHEATHING TO RIMBOARD/BLOCKING WITH EDGE NAILING AS SPECIFIED IN TABLE ABOVE AND ELIMINATE THE A35 CLIPS BETWEEN THE RIMBOARD/BLOCKING AND WALL TOP PLATE.
12. FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE CORROSION RESISTANT.
13. 1¾" MIN LSL RIM BOARD AND SINGLE SILL PLATE ARE ASSUMED. IF RIM MATERIAL IS DIFFERENT, NOTIFY ENGINEER FOR REVISED SPACING. IF (2)2x SILL PLATES ARE USED, USE SDWS 0.220"x6" SCREWS. CONTRACTOR CAN SELECT EITHER NAILS OR SCREWS.
14. (2)2x STUDS AND SILL PLATES CAN BE USED INSTEAD OF 3x MEMBERS. (2)2x STUDS WILL NEED TO BE FASTENED TOGETHER WITH EITHER NAILS OR SCREWS AS CALLED OUT.

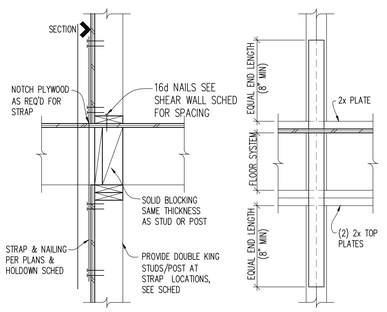
SHEAR WALL SCHEDULE (HEM FIR LUMBER) 9



TYPICAL OUTRIGGER 5



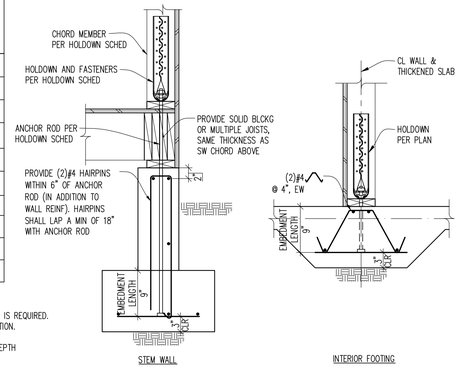
TYP WALL DETAIL 1



SECTION

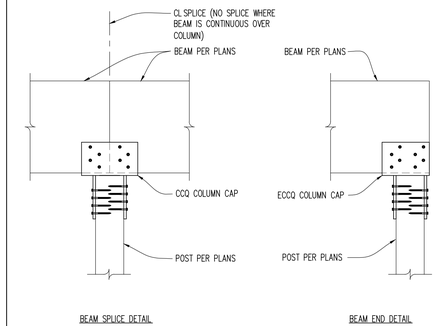
MARK	FASTENERS TO CONCRETE	FASTENERS TO WOOD STUDS OR POSTS			CHORD MEMBER SEE NOTES 2 AND 4	ANCHOR ALLOWABLE LOAD (LBS)
	ANCHOR ø SEE NOTES 1, 5, 6, 7	BOLTS	SDS ¼"øx2½" SCREWS	16d COMMON NAILS SEE NOTE 5		
MSTC28	3" x 16 GA	–	–	(16) 16d	(2) 2x STUDS	1,330
MSTC40	3" x 16 GA	–	–	(32) 16d	(2) 2x STUDS	2,655
MSTC52	3" x 16 GA	–	–	(48) 16d	(2) 2x STUDS	3,985
MSTC66	3" x 14 GA	–	–	(68) 16d	(2) 2x STUDS	5,850
HDU2	5/8"ø	–	6	–	(2) 2x STUDS	2,215
HDU4	5/8"ø	–	10	–	(2) 2x STUDS	3,285
HDU5	5/8"ø	–	14	–	(2) 2x STUDS	4,340
HDU8	7/8"ø	–	20	–	6x6 DF	7,870
HDU11	1"ø	–	30	–	6x6 DF	9,335
HDU14	1"ø	–	36	–	6x6 DF	14,445

NOTES:
1. PROVIDE ASTM F1554 GR.36 HEAVY SQUARE HEAD ANCHORS FOR ALL HOLDOWNS.
2. WOOD MEMBERS (MIN), ABOVE AND BELOW WHERE STRAP OR HOLDOWN OCCURS AT FLOOR LEVEL.
3. HOLDOWN SCHEDULE IS PROVIDED FOR GENERAL INSTALLATION INFORMATION. NOT ALL HARDWARE SCHEDULED IS REQUIRED. SEE PLANS FOR HOLDOWN CALL-OUTS AND LOCATIONS. CONSULT MANUFACTURER FOR ADDITIONAL INFORMATION.
4. IF SHEAR WALL REQUIRES 3x STUDS, USE MIN (2) 3x STUDS INSTEAD OF (2) 2x STUDS.
5. QUANTITY OF NAILS FOR STRAPS ARE EVENLY DIVIDED BETWEEN ENDS OF STRAPS ABOVE AND BELOW THE DEPTH OF THE FLOOR SYSTEM. USE 16d COMMON NAILS.
6. WHERE HOLD DOWN OCCURS ATOP BEAM WITH NO STRUCTURE BELOW, SEE DETAIL 19/S4.1.
7. HOLDOWN DETAIL AT FLOOR-TO-FLOOR HOLDOWNS CONDITION PER 5/S4.2.
8. STRAP DETAIL AT FLOOR-TO-FLOOR STRAP CONDITION PER 8/S4.2.
9. IBC 2015, f'c = 2,500 PSI, HEM-FIR LUMBER.

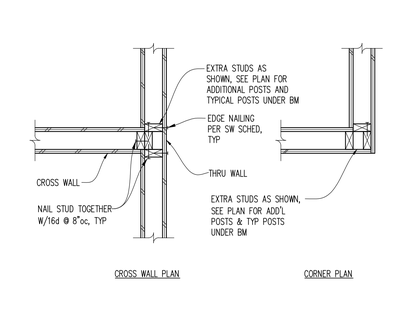


FLOOR TO FLOOR HOLDOWN STRAP 18

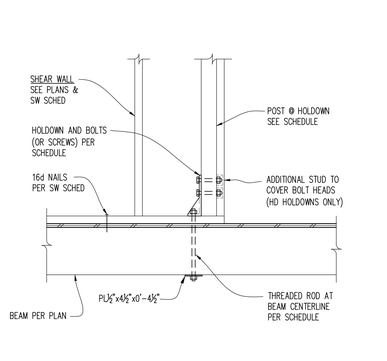
SHEAR WALL SCHEDULE (HEM FIR LUMBER) 10



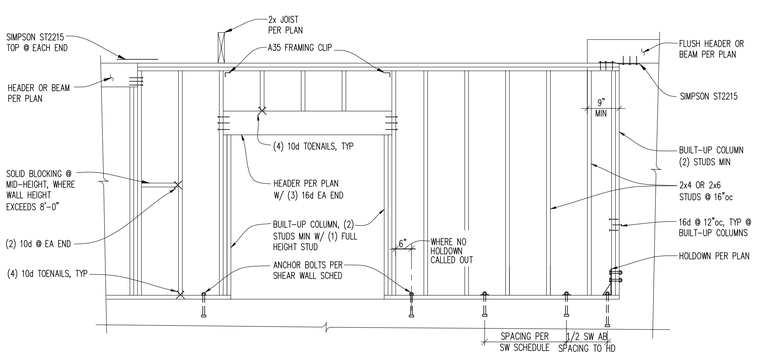
TYP. COLUMN CAP DETAILS 6



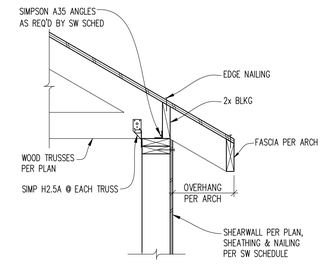
TYPICAL SHEAR WALL INTERSECTION 2



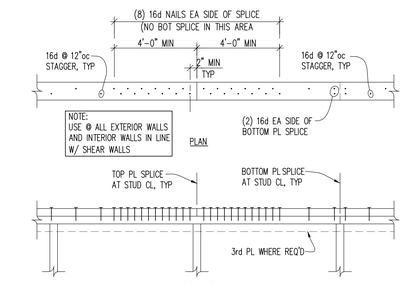
DETAIL 19



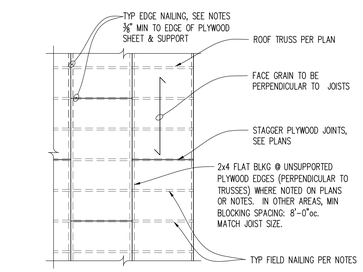
TYPICAL STUD FRAMING DETAIL 11



TYPICAL EAVE 7

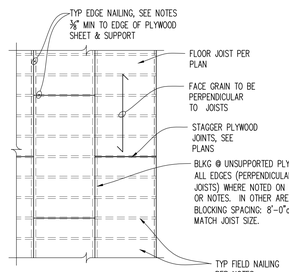


TYP STUD WALL TOP PLATE SPLICE 3

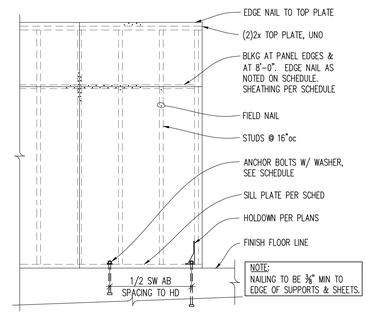


NOTE:
ALL ENDS OF PLYWOOD SHEETS TO SPLICE OVER CL JOISTS OR SUPPORTING MEMBERS. PANELS LESS THAN 12" IN WIDTH SHALL BE BLOCKED AT ALL EDGES.

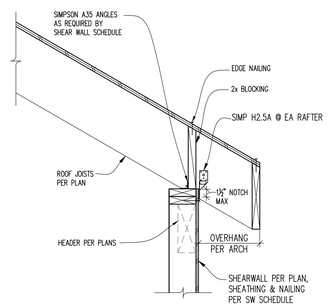
TYPICAL ROOF SHEATHING 20



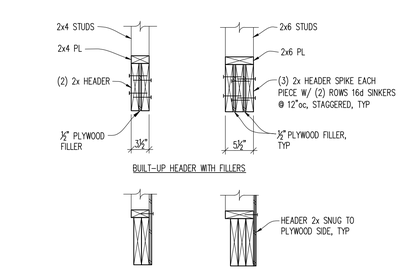
TYPICAL FLOOR SHEATHING 16



TYPICAL SHEAR WALL SHEATHING 12



TYPICAL DOWNWARD EAVE 8



TYPICAL BUILT-UP HEADER SECTIONS 4

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SHEET TITLE

SECTIONS

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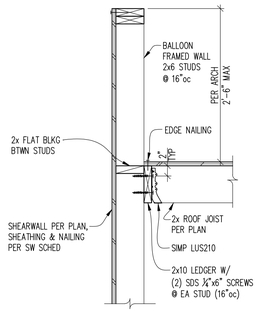
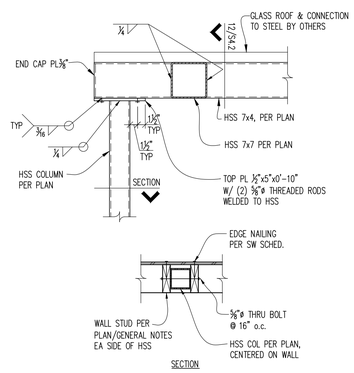


DETAIL 1"=1'-0" 17



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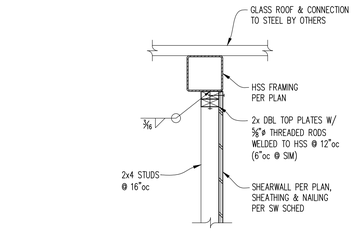

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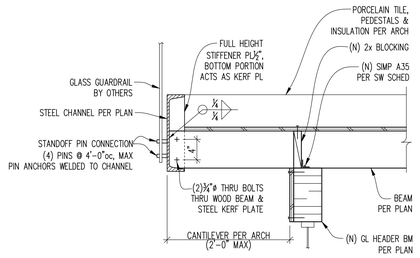

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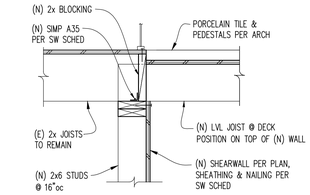

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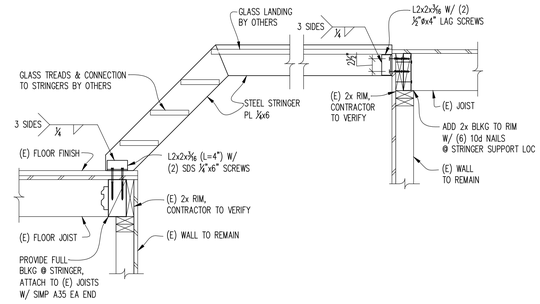

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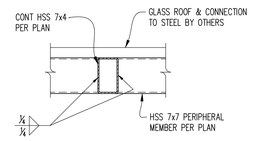

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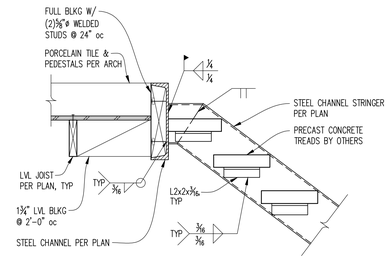

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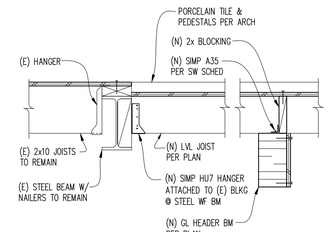

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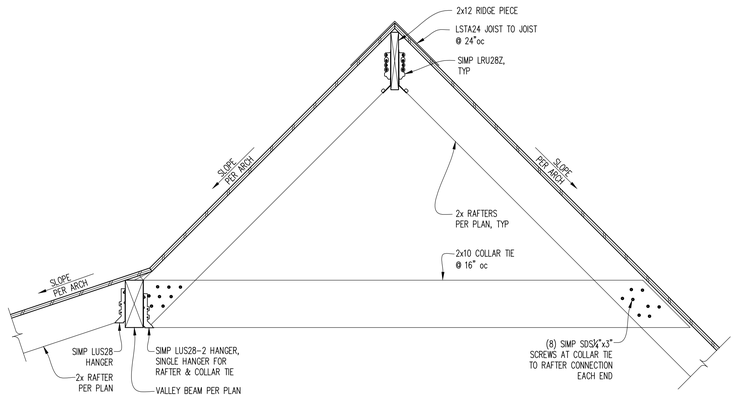

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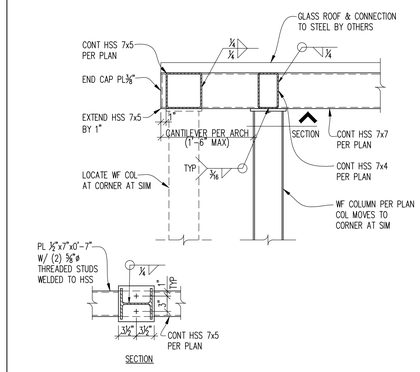

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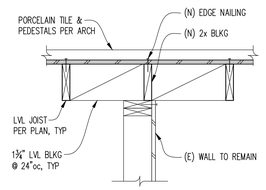

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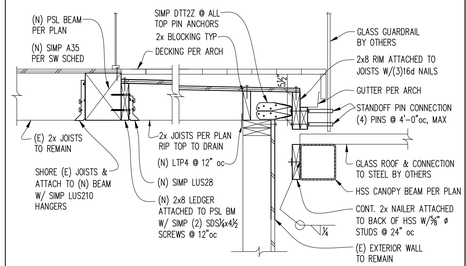

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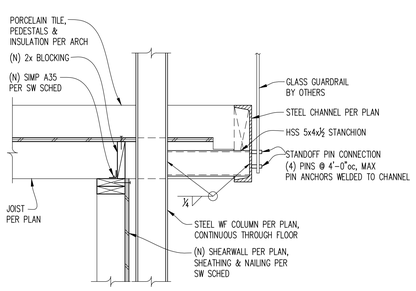

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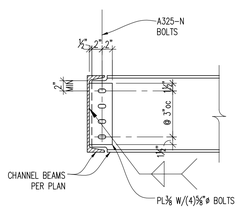
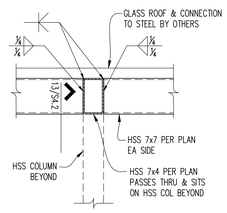


TYP CHANNEL CONN. DETAIL 1"=1'-0" 16



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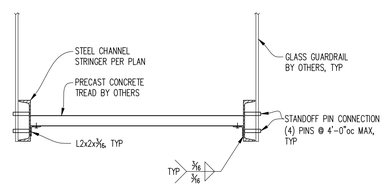

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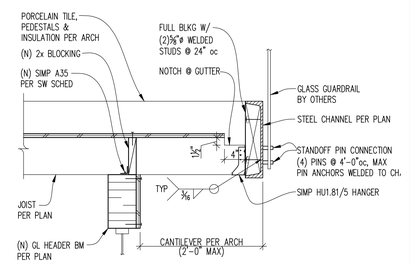

DETAIL 1"=1'-0" 4

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REVISIONS

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SECTIONS

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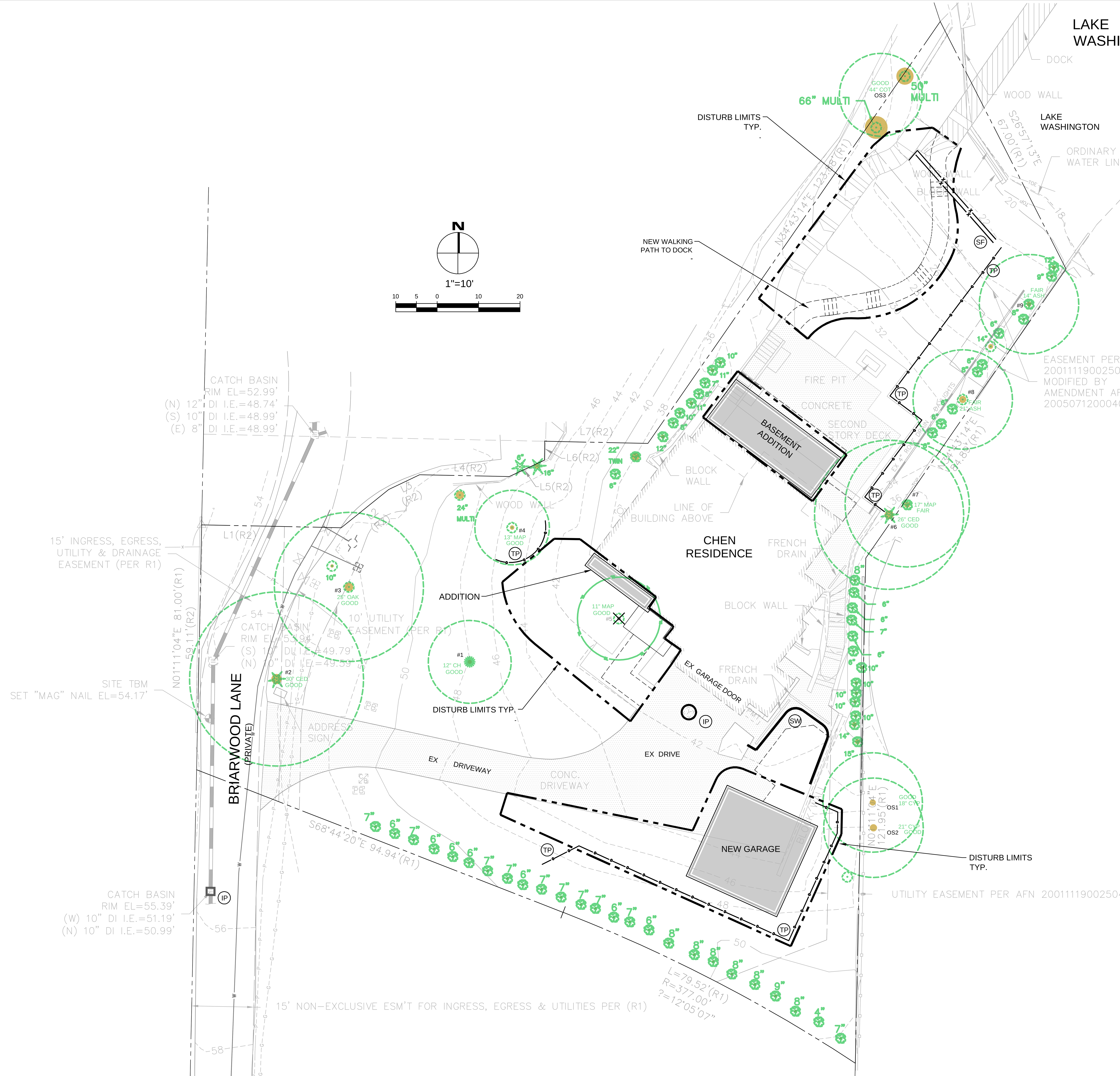

EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE		▬ ▪ ▪ ▬
FILTER FABRIC FENCE (SILT FENCE)	SF	—x—x—
STABILIZED CONSTRUCTION ENTRANCE	CE	▨
CATCH BASIN INLET PROTECTION	IP	□
INTERCEPTOR SWALE SEE COR DWG 504, TYPE A TEMPORARY SWALE	IS	◄—◄—
TREE PROTECTION FENCING	TP	—o—o—o—o—
STOCKPILE	ST	▨
STRAW WATTLES	SW	USE AS NEEDED
PLASTIC COVERING	PC	COVER EXPOSED AREAS WITHIN MERCER ISLAND TIME LIMIT
COMPOST SOCK	CS	SEDIMENT CONTROL OPTION RECOMMENDED IN LIEU OF SILT FENCE

EROSION CONTROL NOTES
SHEET C1.2

EROSION CONTROL DETAILS
SHEET C1.2

SOIL AMENDMENT REQUIRED
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

NO.	DATE	BY	REVISIONS

APPLICANT
MN CUSTOM HOMES: JOE NAISETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-353-5823

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DATE: Dec 22, 2020
JOB# 1933
DRAFTED: CH DESIGN: DE
DIGITAL SIGNATURE

Dec 22, 2020
JEFFREY E. [illegible] STATE OF WASHINGTON 39766 REGISTERED PROFESSIONAL ENGINEER

CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

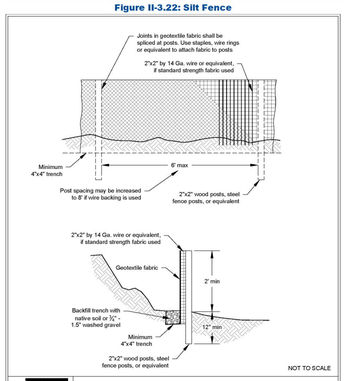
EROSION CONTROL PLAN
TREE RETENTION PLAN

CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO: C1.0
APN 082405-9027

SILT FENCE DETAIL — DOE

Figure II-3.22: Silt Fence



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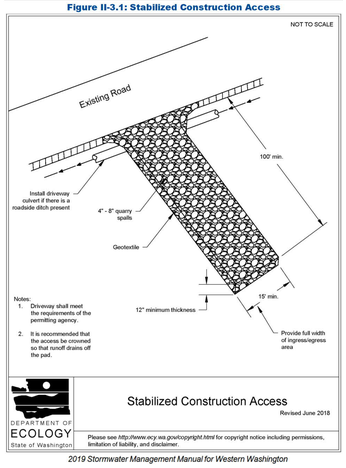
CONSTRUCTION ENTRANCE — DOE

Figure II-3.1: Stabilized Construction Access



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RECOMMENDED CONSTRUCTION SEQUENCE

A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:

1. HOLD AN ONSITE PRE-CONSTRUCTION MEETING.

2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).

3. FLAG OR FENCE CLEARING LIMITS.

4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.

5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).

6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).

7. CONSTRUCT SEDIMENT PONDS AND TRAPS.

8. GRADE AND STABILIZE CONSTRUCTION ROADS.

9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.

10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

11. RELOCATE SURFACE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.

12. COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.

13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.

14. SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.

15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

DENUDED AREAS REQUIREMENTS

APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.

OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

EROSION CONTROL NOTES

D.8.2 STANDARD ESC PLAN NOTES
THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.

1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.

3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.

4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.

5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.

6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.

7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.

8. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).

9. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.

10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.

11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

13. COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL

14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

CITY NOTES

1. ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.

2. APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.

3. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.

4. CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITES.

5. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555

6. DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED

7. EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:

8. PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.

9. CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.

10. PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.

11. ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.

12. INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.

13. OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.

14. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.

15. REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.

16. ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.

17. SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.

18. WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.

19. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.

16. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.

20. NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.

21. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.

22. THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

NO.	DATE	BY	REVISIONS

APPLICANT
MN CUSTOM HOMES: JOE NAISETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-353-5823

DATE: Dec 21, 2020
JOB# 1933
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE

Dec 21, 2020 — JEFFREY E. DUFFY — STATE OF WASHINGTON — 38766 — REGISTERED PROFESSIONAL ENGINEER

CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

TESC & CITY NOTES
TESC DETAILS
CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO: C1.2

APN 082405-9027

SANITARY SEWER IMPROVEMENTS

1 -
2 -
3 -
4 -
7 -

WATER IMPROVEMENTS

10 -
11 -
12 -
14 -

STORM DRAIN

20 4" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE
21 ~4" FOUNDATION DRAIN (3034 PVC) @ MIN 1 % GRADE
22 -
23 -
24 -
25 -
26 -
28 -
29 -

STORM DRAIN STRUCTURES

30 -
31 -
32 -
33 -
34 -
35 -
36 -
39 -
40 -
41 -
43 -
46 -
47 -
48 -

STORM BMP's

50 DETAIL NDP-1: COMPOST AMENDED SOIL TO ALL DISTURBED AREAS (SEE DETAIL SHEET C3.5). TILL 2-3" OF COMPOST INTO UPPER 8" OF SOIL. LOOSEN COMPACTED SUBSOIL, IF NEEDED BY RIPPING TO 12" DEPTH. MULCH LANDSCAPE BEDS AFTER PLANTING.
51 -
52 -
53 -
54 -
55 -
56 -
57 -
58 -

PRIVATE PVC STORM STRUCTURES

100 -
101 -
102 -
103 -
104 -
105 -
106 -

SURVEYOR

TOPOGRAPHIC & BOUNDARY SURVEY BY:
informed land survey
PO BOX 5137
TACOMA, WA 98415-0137
PHONE 253-627-2070
admin@i-landsurvey.com
www.i-landsurvey.com

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN)
SEE SURVEY

SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER.
THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

LEGAL DESCRIPTION

PARCEL A:

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82-11-26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303109004, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1;

THENCE SOUTH 88°49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 01°10'32" WEST A DISTANCE OF 4.54 FEET;

THENCE SOUTH 64°49'53" WEST A DISTANCE OF 9.36 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 21.64 FEET;

THENCE SOUTH 64°21'02" WEST A DISTANCE OF 8.31 FEET;

THENCE SOUTH 51°11'48" WEST A DISTANCE OF 14.70 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;

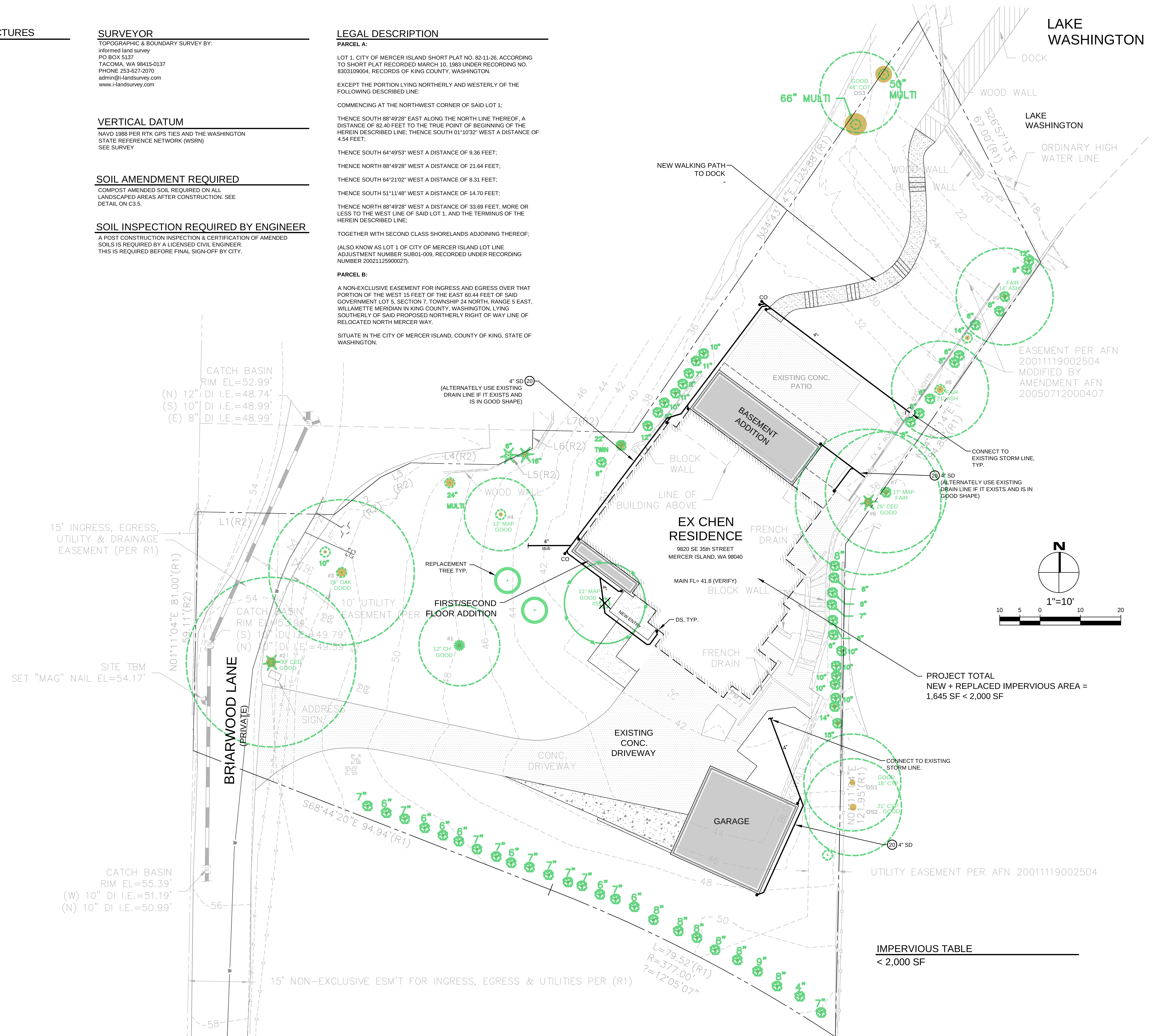
TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;

(ALSO KNOW AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01-009, RECORDED UNDER RECORDING NUMBER 20021125900027).

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.



IMPERVIOUS TABLE

< 2,000 SF

NO.	DATE	BY	REVISIONS

APPLICANT
MN CUSTOM HOMES: JOE NAISETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-353-5823

DATE: Dec 22, 2020
JOB# 1933
DRAFTED: DE DESIGN: DE
DIGITAL SIGNATURE

Dec 22, 2020

CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

DRAINAGE / CIVIL PLAN

CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
APN 082405-9027

SOIL AMENDMENT REQUIRED

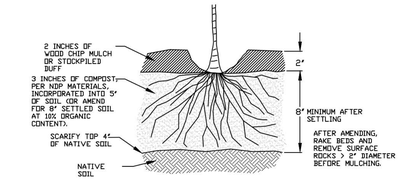
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

SOIL INSPECTION REQUIRED BY ENGINEER

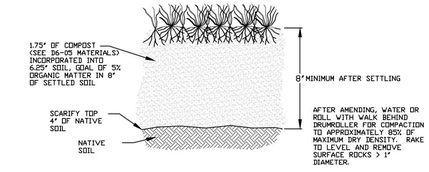
A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

COMPOST AMENDED SOIL SPEC

AMENDMENT FOR LANDSCAPED AREAS



SOIL AMENDMENT FOR GRASS OR TURF AREAS



NOTES:

1. AMEND SOILS PER BOE MANUAL, VOL. V, 5.3.1, BMP T5.13, (2012 OR CURRENT) OR WWW.SOILSFORSALMONDRG.
2. DO NOT AMEND SOILS IN AREAS WITH UNDISTURBED SOIL AND NATIVE VEGETATION.
3. OPTIONAL ALTERNATIVE: STOCKPILE NATIVE TOPSOIL ONSITE, AMEND IF NEEDED, AND REPLACE BEFORE PLANTING.
4. OPTIONAL ALTERNATIVE: IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET REQUIREMENTS.

City of Bellevue — STORM AND SURFACE WATER UTILITY

TITLE: AMENDED SOILS

NO. NDP-1

JANUARY 2019 NO SCALE

NO.	DATE	BY	REVISIONS

APPLICANT
MN CUSTOM HOMES: JOE NAISETH
1412 112TH AVE. NE, SUITE #104
BELLEVUE, WA 98004
PHONE: 206-353-5823

DATE: Dec 21, 2020
JOB# 1933
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE

Dec 21, 2020
JEFFREY E. DUFFY — STATE OF WASHINGTON — 39796 — REGISTERED PROFESSIONAL ENGINEER

CIVIL ENGINEERING SOLUTIONS
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

BMP DETAILS

CHEN RESIDENCE ADDITION
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO: C3.5

APN 082405-9027

TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

PARCEL A:

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82–11–26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303109004, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1;

THENCE SOUTH 88°49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 01°10'32" WEST A DISTANCE OF 4.54 FEET;

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THENCE NORTH 88°49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;

(ALSO KNOW AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01–009, RECORDED UNDER RECORDING NUMBER 20021125900027).

PARCEL B:

A NON–EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

SCHEDULE B

(PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 4202–2978599, DATED MARCH 14, 2018 AT 7:30 AM)

6. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
   RECORDED: MAY 05, 1931
   RECORDING INFORMATION: 2670081
   IN FAVOR OF: PUGET SOUND POWER & LIGHT COMPANY
   FOR: ELECTRIC TRANSMISSION LINE
   SURVEYOR'S NOTE: PORTION OF EASEMENT LOCATED OVER SUBJECT PARCEL ABANDONED AND RELEASED BY PARTIAL RELEASE OF EASEMENT RECORDING NUMBER 9906100311, RECORDS OF KING COUNTY RECORDER'S OFFICE.

7. EASEMENT, INCLUDING TERMS AND CONDITIONS CONTAINED THEREIN:
   GRANTED TO: MERCER ISLAND SEWER DISTRICT
   FOR: SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND APPURTENANCES HERETO
   RECORDED: JULY 08, 1960
   RECORDING INFORMATION: 5179425 AND 5179426
   SURVEYOR'S NOTE: THESE ITEMS AFFECT THE PROPERTY, EASEMENT LIES FIVE FEET ON EACH SIDE OF THE SEWER LINE AS CONSTRUCTED, NOT SHOWN ON MAP.

8. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY WOODSON SHORT SUBDIVISION FILE NO. MI–82–11–26 RECORDED UNDER RECORDING NUMBER 8303109004.

9. SIDE SEWER EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
   LOCATION: ALONG THE LINE AS CONSTRUCTED WIDTH: UNDISCLOSED
   RECORDING NO.: 8404180412
   SURVEYOR'S NOTE: DOCUMENT PERTAINS TO THE MAINTENANCE OF SEWER FACILITIES LOCATED IN SEWER EASEMENT SHOWN ON MERCER ISLAND SHORT SUBDIVISION RECORDING NUMBER 198303109004. NOT SHOWN ON MAP

10. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
    RECORDED: MAY 04, 1984
    RECORDING INFORMATION: 8405041140
    IN FAVOR OF: PUGET SOUND POWER AND LIGHT COMPANY, A WASHINGTON CORPORATION
    FOR: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
    SURVEYOR'S NOTE: THIS ITEM AFFECTS THE PARCEL EASEMENT LIES FIVE ON EACH SIDE OF THE UNDERGROUND POWER LINES AS CONSTRUCTED WITHIN THE WEST 20.00 FEET OF THE PARCEL. NOT SHOWN ON MAP.

14. GRANT AND AGREEMENT OF UNDERGROUND UTILITY EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
    BETWEEN: RALPH E. SEIGEL AND ALICIA A. SEIGEL, HUSBAND AND WIFE
    AND: JAMES K. LEE AND MIMI D LEE, HUSBAND AND WIFE
    RECORDING INFORMATION: 20011119002504
    MODIFICATION AND/OR AMENDMENT BY INSTRUMENT:
    RECORDED: JULY 12, 2005
    RECORDING INFORMATION: 20050712000407
    SURVEYOR'S NOTE: EASEMENTS SHOWN ON MAP

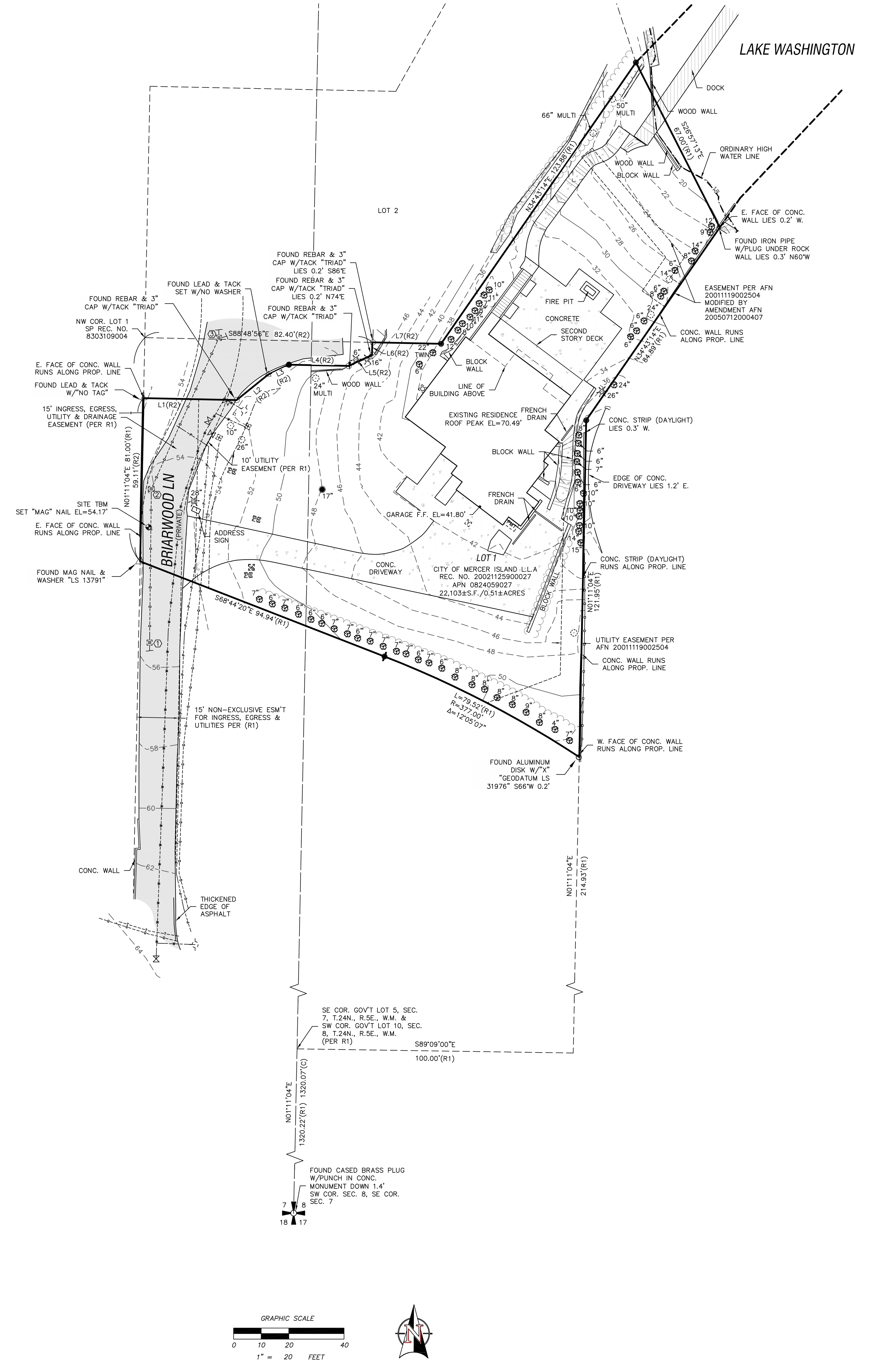
15. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RELINQUISHMENT AND SURRENDER OF EASEMENT RIGHTS AND INTERESTS"
    RECORDED: NOVEMBER 25, 2002
    RECORDING NO.: 20021125002786
    SURVEYOR'S NOTE: THIS DOCUMENT RELINQUISHES A PORTION OF THE INGRESS, EGRESS, UTILITIES AND DRAINAGE EASEMENT SHOWN OVER THE EASTERLY PORTION OF LOT 1 OF CITY OF MERCER ISLAND SHORT PLAT, RECORDING NUMBER 198303109004.

SURVEYOR'S NOTES

1. THE PURPOSE OF THIS SURVEY IS TO DETERMINE THE LOCATION OF THE BOUNDARIES AND PROVIDE TOPOGRAPHIC INFORMATION OF THE PARCEL AS DESCRIBED HEREON.
2. THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A LEICA 1203 3" ROBOTIC TOTAL STATION AND GS14RTK GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332–130.
3. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
4. THE LEGAL DESCRIPTION IS PER RECORDS OF KING COUNTY RECORDER'S OFFICE, RECORDING NO. 20190419000135, DATED APRIL 19, 2019. A TITLE REPORT HAS NOT BEEN PROVIDED AT THIS TIME, THEREFORE NO INVESTIGATION WAS DONE PERTAINING TO EXISTING ENCUMBRANCES RELATING TO THE SUBJECT PARCEL SHOWN AND DESCRIBED HEREON.
5. FIELD WORK FOR THIS PROJECT WAS PERFORMED IN MARCH, 2020 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET IN MARCH, 2020. THIS SITE CONTAINS IMPROVEMENTS NOT LOCATED OR SHOWN AS A PART OF THIS SURVEY.
6. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.

NOTE:
THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION, AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES.

Call Before You Dig
1–800–424–5555



HORIZONTAL DATUM

NAD 1983(2011); PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

REFERENCE SURVEYS

R1) CITY OF MERCER ISLAND SHORT PLAT, RECORDING NO. 8303109004
R2) CITY OF MERCER ISLAND LOT LINE ADJUSTMENT, RECORDING NO. 20021125900027

RECORDS OF KING COUNTY RECORDER'S OFFICE

LEGEND

- FOUND SECTION CORNER (AS SHOWN)
- ● SET REBAR & CAP EMW LS #44651
- ○ FOUND REBAR & CAP "TRIAD"
- △ FOUND LEAD W/TACK
- ⊕ FOUND IRON PIPE (AS SHOWN)
- SET "MAG" NAIL SITE TEMPORARY BENCHMARK (TBM)
- GUARD POST
- GAS METER
- PMT POWER METER
- PB POWER PULL BOX
- STORM DRAIN CATCH BASIN
- YARD DRAIN
- (S) SEWER MANHOLE
- IRRIGATION CONTROL BOX
- FIRE HYDRANT
- WATER METER
- ⋈ WATER VALVE
- DECIDUOUS TREE
- CEDAR TREE
- EVERGREEN TREE
- (R) DISTANCE PER REFERENCE
- (C) DISTANCE AS CALCULATED
- LS LICENSED LAND SURVEYOR
- ▨ ASPHALT SURFACE
- ☐ CONCRETE SURFACE
- ▨ ROCKERY

LINE TYPE LEGEND

- WOOD FENCE
- GAS LINE
- STORM DRAIN LINE
- EDGE OF VEGETATION
- POWER LINE
- WATER LINE
- ORDINARY HIGH WATER LINE

STORM DRAIN STRUCTURE TABLE

① CATCH BASIN
RIM EL=55.39'
(W) 10" DI I.E.=51.19'
(N) 10" DI I.E.=50.99'

② CATCH BASIN
RIM EL=53.94'
(S) 10" DI I.E.=49.79'
(N) 10" DI I.E.=49.59'

③ CATCH BASIN
RIM EL=52.99'
(N) 12" DI I.E.=48.74'
(S) 10" DI I.E.=48.99'
(E) 8" DI I.E.=48.99'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N88°49'00"W	33.69'
L2	S51°12'16"W	14.70'
L3	S64°21'30"W	8.31'
L4	N88°49'00"W	21.64'
L5	S64°50'21"W	9.36'
L6	S01°11'00"W	4.54'
L7	S88°48'56"E	24.90'

SHT. 1 OF 1

A PORTION OF THE NW 1/4 OF THE SW 1/4 OF SECTION 8, TOWNSHIP 24N, RANGE 5E, W.M. & NE 1/4 OF THE SE 1/4 OF SECTION 7, TOWNSHIP 24N, RANGE 5E., W.M.

FOR: MARY CHEN

MERCER ISLAND, KING COUNTY, WA

TOPOGRAPHIC SURVEY

DRAFTED: JR
DATE: 9/29/2020
SCALE: 1"=20'
CHECKED: EMW
JOB NO.: CHENM-200224
FIELD CREW: DF, TM

EVAN M. WAHLSTROM
STATE OF WASHINGTON
44651
REGISTERED PROFESSIONAL LAND SURVEYOR
9/29/2020

9820 SE 35TH PL
MERCER ISLAND, WA 98040
TAX PARCEL NO. 0824059027

informed land survey
PO Box 5137
Tacoma, WA 98415-0137
Phone: 253-627-2070
admin@i-landsurvey.com
www.i-landsurvey.com
LAND SURVEYING • MAPPING • CONSTRUCTION LAYOUT

City of Mercer Island
Development Services

9611 SE 36th Street
Mercer Island, WA 98040
Inspection Request Line 236-3587
General Information 236-5300

BUILDING PERMIT

SF ADD

Permit No. 9908-047

Project No.
Main Permit No.

Site Address: **9820 SE 35TH PL**	Valuation: **84,444.00**	Parcel No. **824059027**
Owner: **SIEGEL RALPH E+ALICIA A** Mailing Address: **9820 SE 35TH PL** **Mercer Island** **WA 98040** Phone: **(206)232-1127**	Description of Work: **1110 SF ADDITION TO EXISTING HOME & REMODEL**	

Legal Description

Lot:	Block:	Plat:

Contractor: **MILLER & MILLER** Address:

Phone: **(425)644-2253** State Contractor Lic: MILLEMC0550L MI Business Lic#:

Type of Const.: **BUILDING** Occ Load: No. Stories: **0.00** Map Loc.:

Sprinkler Req'd:	Reason:	Building SF: **0.00**	Decks SF: **0.00**
Fire Alarm Req'd:	Reason:	Garage SF: **0.00**	Total SF:

Associated Permits:

FEES		Receipt # & Date	Comments
Surcharge	4.50	50738 10/1/1999	
Building Permit Fee	834.15	50738 10/1/1999	
Land Clearing	55.00	50738 10/1/1999	
Energy Code	55.00	50738 10/1/1999	
Plan Check Deposit	632.29	49875 8/6/1999	
		1/1/-4713	
		1/1/-4713	
		1/1/-4713	
		1/1/-4713	
		1/1/-4713	
		1/1/-4713	
TOTAL FEE	**$ 1,580.94**		
TOTAL FEES PAID	**$ 1,580.94**		
TOTAL FEES DUE	**$ 0.00**		

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

Signature of Owner/Contractor/Authorized Agent

Date

FILE COPY

Project No.
Main Permit No.
Permit No. 9908-047

	INSPECTION	APPROVED DATE	APPROVED INSPECTORS NAME	NOT APPROVED DATE	NOT APPROVED INSPECTORS NAME	COR NOTE	NOT RDY	COMMENTS
SITE	LAND CLEARING							
	TEMP POWER							
	GRADING							
	EROSION CONTROL	1/14/00	S.Vail					
	Pre Con	12/28/99	O'Brien					
FOUNDATION	SOILS	12/13/99	[illegible]					
	SETBACK							
	PILING/STRUCTURAL FILL							
	FOOTINGS/REBAR	12/13	[illegible]					
	WALLS/REBAR							
	FOUNDATION/ROOF DRAINAGE							
	DAMP PROOFING							
SLAB	UNDER SLAB ELECTRICAL							
	UNDER SLAB PLUMBING							
	UNDER SLAB DUCT WORK							
	VAPOR BARRIER/INSULATION ← need	< 4/17	[illegible] >					
	SLAB REINFORCING WIRE	12/16/99	[illegible]					
BLDG SVCS	<ROUGH ELECTRICAL>	4/11/00	[illegible]					
	ROUGH PLUMBING PRV	4/6/00	[illegible]				4/18	SHOWER PAN OK [illegible]
	GAS PIPING +10#							
	WATER SERVICE							
	HVAC EQUIP. & DUCTS	4/11/00	[illegible]					
	COMB. AIR/VENTING	4/11/00	[illegible]					
	ROOF DRAINS (INTERIOR)							
	STORMWATER SOURCE CONTROL	—						
	ALARM WIRING	4/18	[illegible]					
FRAMING	STRUCTURAL FRAMING	(Per EOR letter)						
	GLU-LAM BEAMS/TRUSSES	4/11/00	[illegible]					
	FRAMING			3/17	Kim		X	
	GLAZING/INSULATION PVA 4/17	<						
	VENTILATION/(ATTIC/CRAWL SPACE)							
	FIRE RATED CONSTRUCTION	4/17/00	[illegible]					
	OK TO COVER							
MISC	G.W.B. NAILING	4/26	[illegible] w/ EXCEPTION ON GREEN BOARD					
	MASONARY							
	HANDICAPPED ACCESS							
	FIRE DAMPERS/SPRINKLERS							
	PRE-FAB FIREPLACE/STOVES							
UTIL	SANITARY SEWER CONNECTION	1/14/00	S.Vail					Received As built
	D.C.V.A. CHECK VALVE							
	OFF SITE DRAINAGE							
FINAL	ELECTRICAL	[illegible]	[illegible]	8/15/00	[illegible]	X		
	PLUMBING					X		
	H.V.A.C. OPERATION					X		
	FIRE DETECTORS/ALARMS							
	BUILDING					X		
	SITE DRAINAGE/RESTORATION					X		
SPECIAL								

BOND	AMOUNT	INSPECTOR	DATE	APPROVED BY	DATE	REFUND BY	DATE

City of Mercer Island
Development Services

9611 SE 36th Street
Mercer Island, WA 98040
Inspection Request Line 236-3587
General Information 236-5300

BUILDING PERMIT

SF ADD

Permit No. 9908-047

Project No.
Main Permit No.

Site Address: **9820 SE 35TH PL**	Valuation: **84,444.00**	Parcel No. **824059027**
Owner: **SIEGEL RALPH E+ALICIA A**	Description of Work: **REVISION 11/15/99**	
Mailing Address: **9820 SE 35TH PL** **Mercer Island** **WA 98040**		
Phone: **(206)232-1127**		

Legal Description

Lot:	Block:	Plat:

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Phone: **(425)644-2253** State Contractor Lic: MILLEMC0550L MI Business Lic#:

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Land Clearing	55.00	50738	10/1/99	
Energy Code	55.00	50738	10/1/99	
Plan Check Deposit	632.29	49875	8/6/99	
Bldg. Revision Fee	47.00	51430	11/15/99	
Bldg. Revision Fee	150.00	51814	12/8/99	

TOTAL FEE $ 1,777.94
TOTAL FEES PAID $ 1,777.94
TOTAL FEES DUE $ 0.00

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

Signature of Owner/Contractor/Authorized Agent

12-8-99
Date

FILE COPY

Project No.
Main Permit No.
Permit No. 9908-047

		APPROVED		NOT APPROVED				
	INSPECTION	DATE	INSPECTORS NAME	DATE	INSPECTORS NAME	COR NOTE	NOT RDY	COMMENTS
SITE	LAND CLEARING							
	TEMP POWER							
	GRADING							
	EROSION CONTROL							
FOUNDATION	SOILS							
	SETBACK							
	PILING/STRUCTURAL FILL							
	FOOTINGS/REBAR							
	WALLS/REBAR							
	FOUNDATION/ROOF DRAINAGE							
	DAMP PROOFING							
SLAB	UNDER SLAB ELECTRICAL							
	UNDER SLAB PLUMBING							
	UNDER SLAB DUCT WORK							
	VAPOR BARRIER/INSULATION							
	SLAB REINFORCING							
BLDG SVCS	ROUGH ELECTRICAL							
	ROUGH PLUMBING							
	GAS PIPING							
	WATER SERVICE							
	HVAC EQUIP. & DUCTS							
	COMB. AIR/VENTING							
	ROOF DRAINS (INTERIOR)							
	STORMWATER SOURCE CONTROL							
FRAMING	STRUCTURAL FRAMING							
	GLU-LAM BEAMS/TRUSSES							
	FRAMING							
	GLAZING/INSULATION							
	VENTILATION/ (ATTIC/CRAWL SPACE)							
	FIRE RATED CONSTRUCTION							
	OK TO COVER							
MISC	G.W.B. NAILING							
	MASONARY							
	HANDICAPPED ACCESS							
	FIRE DAMPERS/SPRINKLERS							
	PRE-FAB FIREPLACE/STOVES							
UTIL	SANITARY SEWER CONNECTION							
	D.C.V.A. CHECK VALVE							
	OFF SITE DRAINAGE							
FINAL	ELECTRICAL							
	PLUMBING							
	H.V.A.C. OPERATION							
	FIRE DETECTORS/ALARMS							
	BUILDING							
	SITE DRAINAGE/RESTORATION							

SPECIAL	

BOND	AMOUNT	INSPECTOR	DATE	APPROVED BY	DATE	REFUND BY	DATE

EASEMENTS:

1. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE:	PUGET SOUND POWER & LIGHT COMPANY
PURPOSE:	ELECTRIC TRANSMISSION LINE
AREA AFFECTED:	THE EAST 10 FEET OF THE WEST 100 FEET OF GOVERNMENT LOT 10, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M.
RECORDED:	MAY 5, 1931
RECORDING NUMBER:	2670081

EASEMENT ABANDONED
RECORDING # 8303109004
6-3-99

2. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE:	MERCER ISLAND SEWER DISTRICT
PURPOSE:	SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND APPURTENANCES HERETO
AREA AFFECTED:	AS CONSTRUCTED OVER SECOND CLASS SHORELANDS ADJOINING THAT PORTION OF SAID PREMISES LYING IN GOVERNMENT LOT 10
RECORDED:	JULY 8, 1960
RECORDING NUMBER:	5179425

3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE:	PUGET SOUND POWER & LIGHT COMPANY
PURPOSE:	ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
AREA AFFECTED:	A 10 FOOT STRIP WITHIN THE WEST 20 FEET OF LOT 1
RECORDED:	MAY 4, 1984
RECORDING NUMBER:	8405041140

4. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE:	INGRESS AND EGRESS, UTILITIES AND DRAINAGE
AREA AFFECTED:	15 FEET WIDE AS DELINEATED ON SAID SHORT PLAT (NOT PLOTTABLE)

5. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004

PURPOSE:	UTILITIES
AREA AFFECTED:	10 FEET WIDE LYING SOUTHERLY AND EASTERLY OF THE 15 FOOT WIDE EASEMENT EASEMENT

6. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER NUMBER 82-11-26 UNDER RECORDING NUMBER

UNDERGROUND UTILITIES:
Locate all utilities prior to any excavation. Do not build over the side sewer.

SEPARATE PERMIT REQUIRED FOR:

- [x] Side Sewer
- [ ] Water Meter
- [ ] Street Use
- [ ] Rockery/Retaining Wall
- [ ] Grading
- [ ] Other

LEGAL DESCRIPTION:

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NUMBER 82-11-26, RECORDED UNDER RECORDING NUMBER 8303109004, IN KING COUNTY, WASHINGTON, SAID SHORT PLAT DESCRIBED AS FOLLOWS:

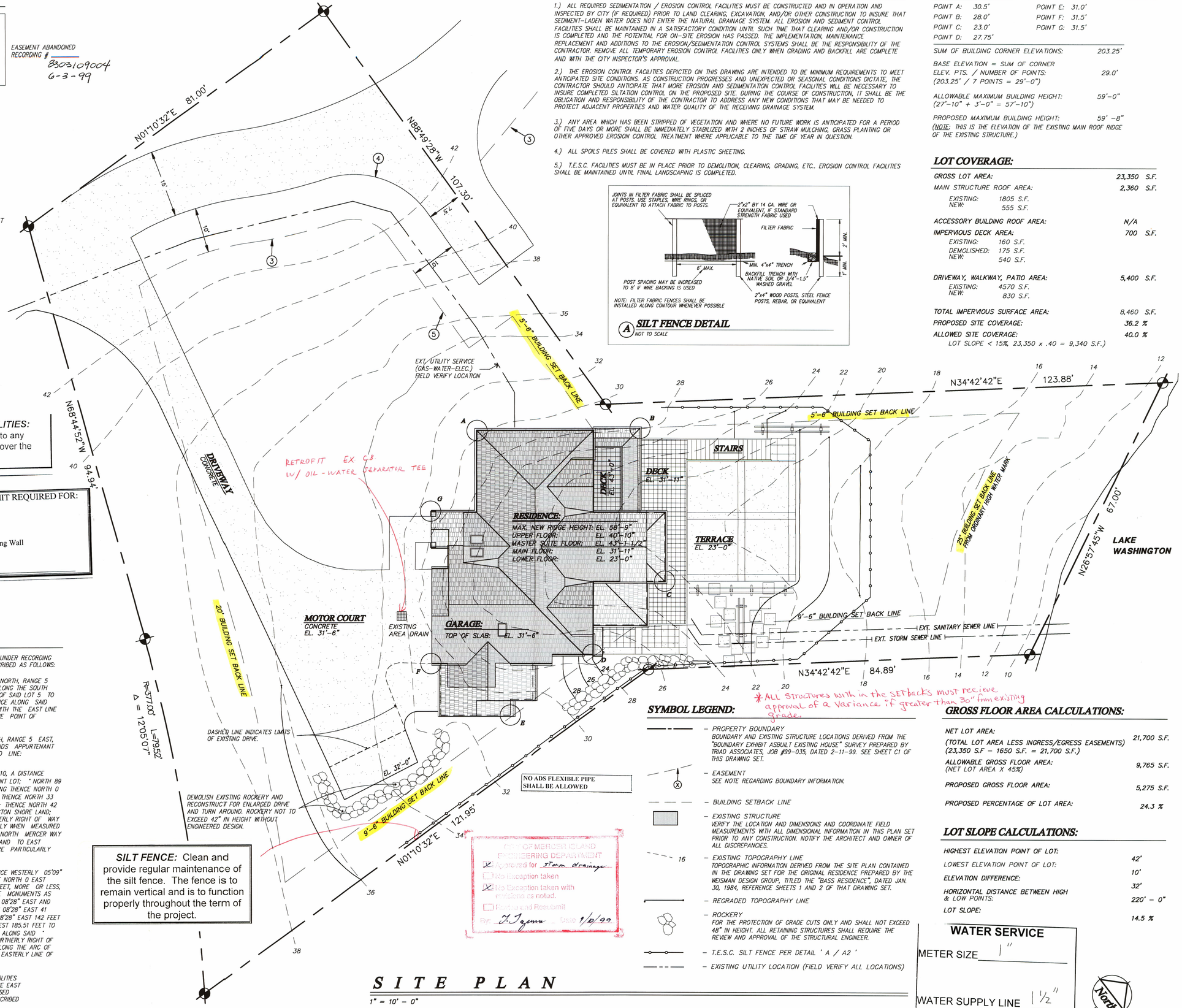
BEGINNING AT THE SOUTHEAST CORNER OF LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON; THENCE WEST ALONG THE SOUTH LINE OF LOT 5, 60.44 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5 TO THE GOVERNMENT MEANDER LINE ON THE SHORE OF LAKE WASHINGTON; THENCE ALONG SAID MEANDER LINE IN AN EASTERLY DIRECTION TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 5 TO THE POINT OF BEGINNING; TOGETHER WITH SECOND CLASS SHORE LANDS ADJOINING;

AND THAT PORTION OF GOVERNMENT LOT 10, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON AND OF THE SHORE LANDS APPURTENANT THERETO LYING WESTERLY AND NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT AN IRON PIPE ON THE SOUTH LINE OF SAID GOVERNMENT LOT 10, A DISTANCE 45'05" EAST 100.00 FEET FROM THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT; ' NORTH 89 05'09" EAST PARALLEL WITH THE WEST LINE OF SAID LOT AND ' AND RUNNING THENCE NORTH 0 37'19" ' 100.00 FEET DISTANCE THEREFROM 336.88 FEET TO AN IRON PIPE; THENCE NORTH 33 13'16" EAST AT RIGHT ANGLES TO THE ' EAST 97.89 FEET TO AN IRON PIPE; THENCE NORTH 42 MEANDER LINE IN SAID LOT TO THE OUTER BOUNDARY OF THE LAKE WASHINGTON SHORE LAND; EXCEPT THAT PORTION THEREOF LYING SOUTHERLY OF THE PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY, SAID LINE BEING 35 FEET NORTHERLY WHEN MEASURED AT RIGHT ANGLES AND/OR RADIALLY FROM THE SURVEY LINE OF RELOCATED NORTH MERCER WAY OF PRIMARY STATE HIGHWAY NUMBER 2 (SR90), WEST SHORE OF MERCER ISLAND TO EAST CHANNEL BRIDGE, SAID PROPOSED NORTHERLY RIGHT OF WAY LINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 5; THENCE WESTERLY 05'09" ' ALONG THE SOUTH LINE OF LOT 5 FOR A DISTANCE OF 60.44 FEET; THENCE NORTH 0 EAST PARALLEL WITH THE EAST LINE OF SAID LOT 5 FOR A DISTANCE OF 470.00 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY EXTENSION OF A LINE OF CONCRETE MONUMENTS AS ESTABLISHED BY JONES, BASSI & ASSOCIATES, ENGINEERS AND SURVEYORS, 08'28" EAST AND SAID MONUMENT ' THE BEARING OF SAID MONUMENT LINE BEING NORTH 63 ' 08'28" EAST 41 FEET DISTANT, MORE OR LESS, AND NORTH 63 ' BEING LOCATED NORTH 63 08'28" EAST 142 FEET DISTANT, MORE OR LESS, ALONG SAID MONUMENT LINE FROM SAID 05'09" WEST 185.51 FEET TO AN INTERSECTION WITH SAID ' INTERSECTION; THENCE SOUTH 0 47'07" EAST ALONG SAID ' PROPOSED NORTHERLY RIGHT OF WAY LINE; THENCE SOUTH 69 PROPOSED NORTHERLY RIGHT OF WAY LINE 94.94 FEET TO A POINT OF CURVATURE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 377 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF THE FOREGOING DESCRIBED TRACT;

TOGETHER WITH AN NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES OVER AND ACROSS AND UNDER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY AS DESCRIBED ABOVE.



SILT FENCE: Clean and provide regular maintenance of the silt fence. The fence is to remain vertical and is to function properly throughout the term of the project.

SITE PLAN

1" = 10' - 0"

TEMPORARY EROSION/SEDIMENTATION CONTROL NOTES:

1.) ALL REQUIRED SEDIMENTATION / EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION AND INSPECTED BY CITY (IF REQUIRED) PRIOR TO LAND CLEARING, EXCAVATION, AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE REPLACEMENT AND ADDITIONS TO THE EROSION/SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REMOVE ALL TEMPORARY EROSION CONTROL FACILITIES ONLY WHEN GRADING AND BACKFILL ARE COMPLETE AND WITH THE CITY INSPECTOR'S APPROVAL.

2.) THE EROSION CONTROL FACILITIES DEPICTED ON THIS DRAWING ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE NECESSARY TO INSURE COMPLETED SILTATION CONTROL ON THE PROPOSED SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM.

3.) ANY AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FUTURE WORK IS ANTICIPATED FOR A PERIOD OF FIVE DAYS OR MORE SHALL BE IMMEDIATELY STABILIZED WITH 2 INCHES OF STRAW MULCHING, GRASS PLANTING OR OTHER APPROVED EROSION CONTROL TREATMENT WHERE APPLICABLE TO THE TIME OF YEAR IN QUESTION.

4.) ALL SPOILS PILES SHALL BE COVERED WITH PLASTIC SHEETING.

5.) T.E.S.C. FACILITIES MUST BE IN PLACE PRIOR TO DEMOLITION, CLEARING, GRADING, ETC.. EROSION CONTROL FACILITIES SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS COMPLETED.

A SILT FENCE DETAIL
NOT TO SCALE

SYMBOL LEGEND:

- PROPERTY BOUNDARY
  BOUNDARY AND EXISTING STRUCTURE LOCATIONS DERIVED FROM THE "BOUNDARY EXHIBIT ASBUILT EXISTING HOUSE" SURVEY PREPARED BY TRIAD ASSOCIATES, JOB #99-035, DATED 2-11-99. SEE SHEET C1 OF THIS DRAWING SET.
- EASEMENT
  SEE NOTE REGARDING BOUNDARY INFORMATION.
- BUILDING SETBACK LINE
- EXISTING STRUCTURE
  VERIFY THE LOCATION AND DIMENSIONS AND COORDINATE FIELD MEASUREMENTS WITH ALL DIMENSIONAL INFORMATION IN THIS PLAN SET PRIOR TO ANY CONSTRUCTION. NOTIFY THE ARCHITECT AND OWNER OF ALL DISCREPANCIES.
- 16 – EXISTING TOPOGRAPHY LINE
  TOPOGRAPHIC INFORMATION DERIVED FROM THE SITE PLAN CONTAINED IN THE DRAWING SET FOR THE ORIGINAL RESIDENCE PREPARED BY THE WEISMAN DESIGN GROUP, TITLED THE "BASS RESIDENCE", DATED JAN. 30, 1984, REFERENCE SHEETS 1 AND 2 OF THAT DRAWING SET.
- REGRADED TOPOGRAPHY LINE
- ROCKERY
  FOR THE PROTECTION OF GRADE CUTS ONLY AND SHALL NOT EXCEED 48" IN HEIGHT. ALL RETAINING STRUCTURES SHALL REQUIRE THE REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.
- T.E.S.C. SILT FENCE PER DETAIL ' A / A2 '
- EXISTING UTILITY LOCATION (FIELD VERIFY ALL LOCATIONS)

BUILDING HEIGHT CALCULATIONS:

POINT A:	30.5'	POINT E:	31.0'
POINT B:	28.0'	POINT F:	31.5'
POINT C:	23.0'	POINT G:	31.5'
POINT D:	27.75'		

SUM OF BUILDING CORNER ELEVATIONS:	203.25'
BASE ELEVATION = SUM OF CORNER ELEV. PTS. / NUMBER OF POINTS: (203.25' / 7 POINTS = 29'-0")	29.0'
ALLOWABLE MAXIMUM BUILDING HEIGHT: (27'-10" + 3'-0" = 57'-10")	59'-0"
PROPOSED MAXIMUM BUILDING HEIGHT: (NOTE: THIS IS THE ELEVATION OF THE EXISTING MAIN ROOF RIDGE OF THE EXISTING STRUCTURE.)	59' -8"

LOT COVERAGE:

GROSS LOT AREA:		23,350 S.F.
MAIN STRUCTURE ROOF AREA:		2,360 S.F.
EXISTING:	1805 S.F.	
NEW:	555 S.F.	
ACCESSORY BUILDING ROOF AREA:		N/A
IMPERVIOUS DECK AREA:		700 S.F.
EXISTING:	160 S.F.	
DEMOLISHED:	175 S.F.	
NEW:	540 S.F.	
DRIVEWAY, WALKWAY, PATIO AREA:		5,400 S.F.
EXISTING:	4570 S.F.	
NEW:	830 S.F.	
TOTAL IMPERVIOUS SURFACE AREA:		8,460 S.F.
PROPOSED SITE COVERAGE:		36.2 %
ALLOWED SITE COVERAGE:		40.0 %

LOT SLOPE < 15%, 23,350 x .40 = 9,340 S.F.)

GROSS FLOOR AREA CALCULATIONS:

NET LOT AREA: (TOTAL LOT AREA LESS INGRESS/EGRESS EASEMENTS) (23,350 S.F – 1650 S.F. = 21,700 S.F.)	21,700 S.F.
ALLOWABLE GROSS FLOOR AREA: (NET LOT AREA X 45%)	9,765 S.F.
PROPOSED GROSS FLOOR AREA:	5,275 S.F.
PROPOSED PERCENTAGE OF LOT AREA:	24.3 %

LOT SLOPE CALCULATIONS:

HIGHEST ELEVATION POINT OF LOT:	42'
LOWEST ELEVATION POINT OF LOT:	10'
ELEVATION DIFFERENCE:	32'
HORIZONTAL DISTANCE BETWEEN HIGH & LOW POINTS:	220' – 0"
LOT SLOPE:	14.5 %

WATER SERVICE

METER SIZE 1"

WATER SUPPLY LINE 1 1/2"

Check existing in field
Possible Upsize needed

North

REGISTERED ARCHITECT JAMES A. PENCE STATE OF WASHINGTON 5380

1 8-3-99 BUILDING PERMIT & BID SET

The Pence Associates
ARCHITECTS
2208 236th Street S.E. Bothell, Washington 98021
Phone:(206) 915-4882 Fax: (425) 806-0407

Siegel Residence

Mercer Island, Washington

Site Plan

August 3, 1999

A-2